

DEMOLITION KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE CURB, GUTTER AND WALKWAY - TYPICAL AS SHOWN
  - D2 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING AC PAVING INCLUDING BUT NOT LIMITED TO AC PAVING, WHEEL STOPS (WHERE OCCUR), AND AGGREGATE BASE - TYPICAL AS SHOWN
  - D3 CONTRACTOR SHALL REMOVE EXISTING 4" WIDE PAINTED STALL STRIPING AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
  - D4 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING BREEZEWAY AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
  - D5 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING LANDSCAPE PLANTER AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
  - D6 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE FLATWORK AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN

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**WR&D**

**WALD RUHNKE & DOST ARCHITECTS LLP**

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THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE PREPARED. ANY REUSE OR REPRODUCTION OF THESE PLANS OR SPECIFICATIONS IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT. ANY CHANGES SHALL BE MADE BY THE ARCHITECT'S WRITTEN AND SIGNED ACCEPTANCE OF THESE RESTRICTIONS.

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- 1 EXISTING 4" WIDE PAINTED STALL STRIPING.
  - 2 EXISTING AC PAVED PARKING LOT AND/OR DRIVEWAY TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
  - 3 EXISTING LANDSCAPING AND IRRIGATION.
  - 4 EXISTING DRIVEWAY APPROACH TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
  - 5 INDICATES EXISTING TRASH / RECYCLE ENCLOSURE.
  - 6 EXISTING CURB, GUTTER & SIDEWALK TO REMAIN. REPAIR AND REPLACE CURB / GUTTER / SIDEWALK AS REQUIRED TO ACCOMMODATE NEW WORK.
  - 7 INDICATES PROPERTY LINE.
  - 8 EXISTING COUNTY MAINTAINED ASPHALT ROAD TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO DETERMINE THE EXACT EXTENT OF ALL SITE DEMOLITION ITEMS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO WORK. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE PROJECT SPECIFICATIONS AND ANY APPLICABLE STANDARD DETAILS FOR THE PROJECT.
4. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT (800-227-2600). THE CONTRACTOR SHALL REMOVE ALL U.S.A. MARKINGS AS SOON AS THEY ARE NO LONGER NEEDED, BY USING A HIGH PRESSURE WATER METHOD ONLY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT CONTRACTOR EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY THE OPERATIONS. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING BY THE OPERATIONS ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
7. KEEP ALL PLANTING, PAVING AND CURB AREAS FREE FROM DEBRIS AND TRASH DURING THE ENTIRE DURATION OF THE CONTRACT.
8. CARE SHOULD BE TAKEN WITH EXISTING TREES TO REMAIN. GRADES WITHIN THE DRIP LINE OF THE TREE SHALL NOT BE CHANGED UNLESS OTHERWISE SPECIFIED ON THE PLANS. UNNECESSARY COMPACTION OF THE AREA WITHIN THE DRIP LINE SHALL BE AVOIDED. SEE LANDSCAPE PLANS FOR ADDITIONAL NOTATION.
9. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT ITEMS INDICATED TO BE SALVAGED.
10. UNDERGROUND UTILITIES WITHIN THE LIMITS OF DEMOLITION SHALL BE CAPPED AND ABANDONED OR REMOVED AS REQUIRED, UNLESS SHOWN OTHERWISE. SEE UTILITY PLANS FOR FURTHER DETAILS.
11. DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

**THE MARKETPLACE AT CARMEL VALLEY RENOVATION**

THE MARKETPLACE AT CARMEL VALLEY  
 9550 CARMEL VALLEY ROAD  
 CARMEL VALLEY, CA 93923

A.P.N. NO.: 169-234-007, 169-234-008

JOB NO.  
**18011**

PRINT DATE:  
 11.14.2019

DRAWN BY:  
 JTI / SC

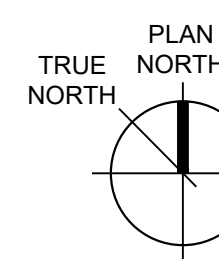
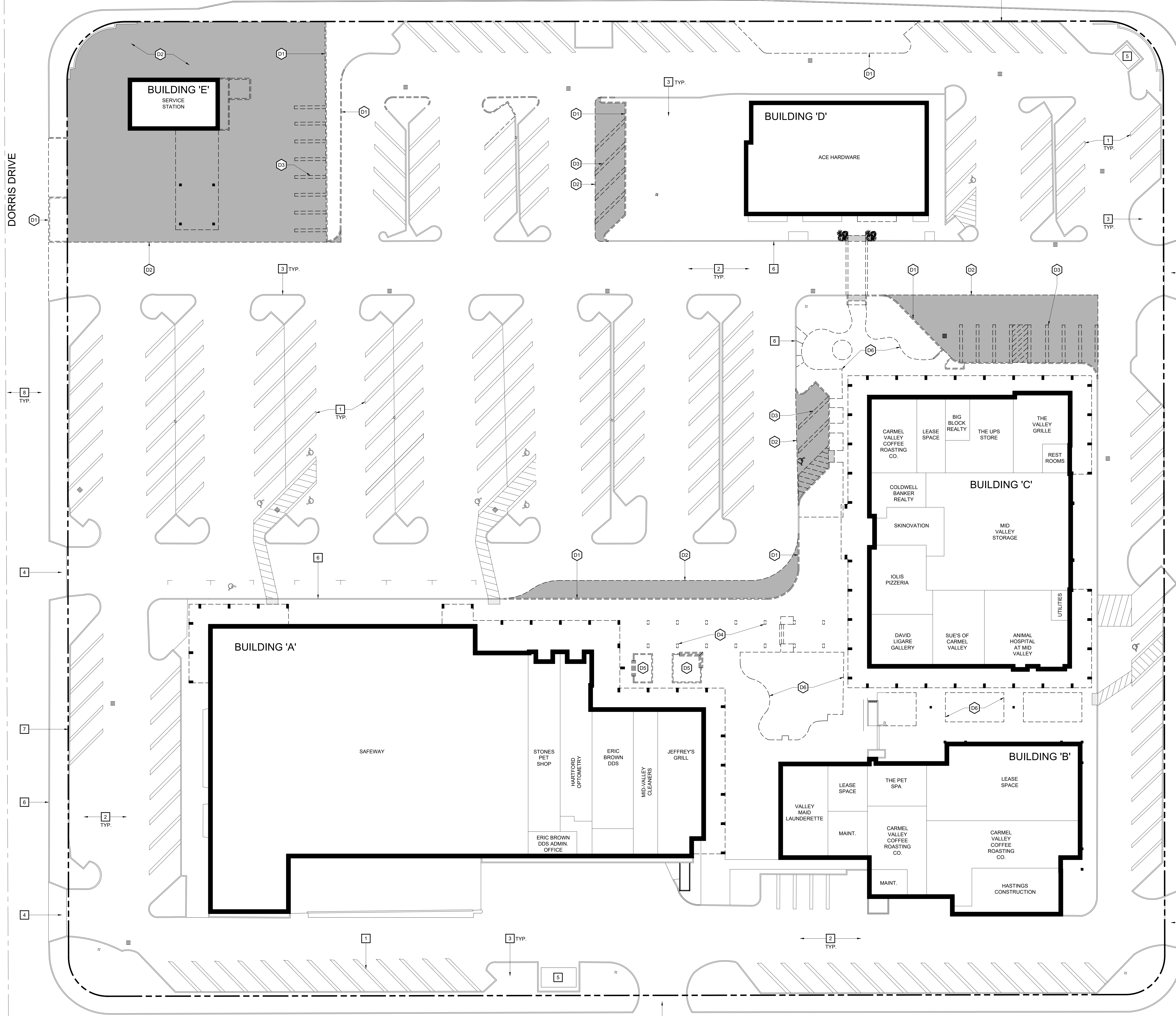
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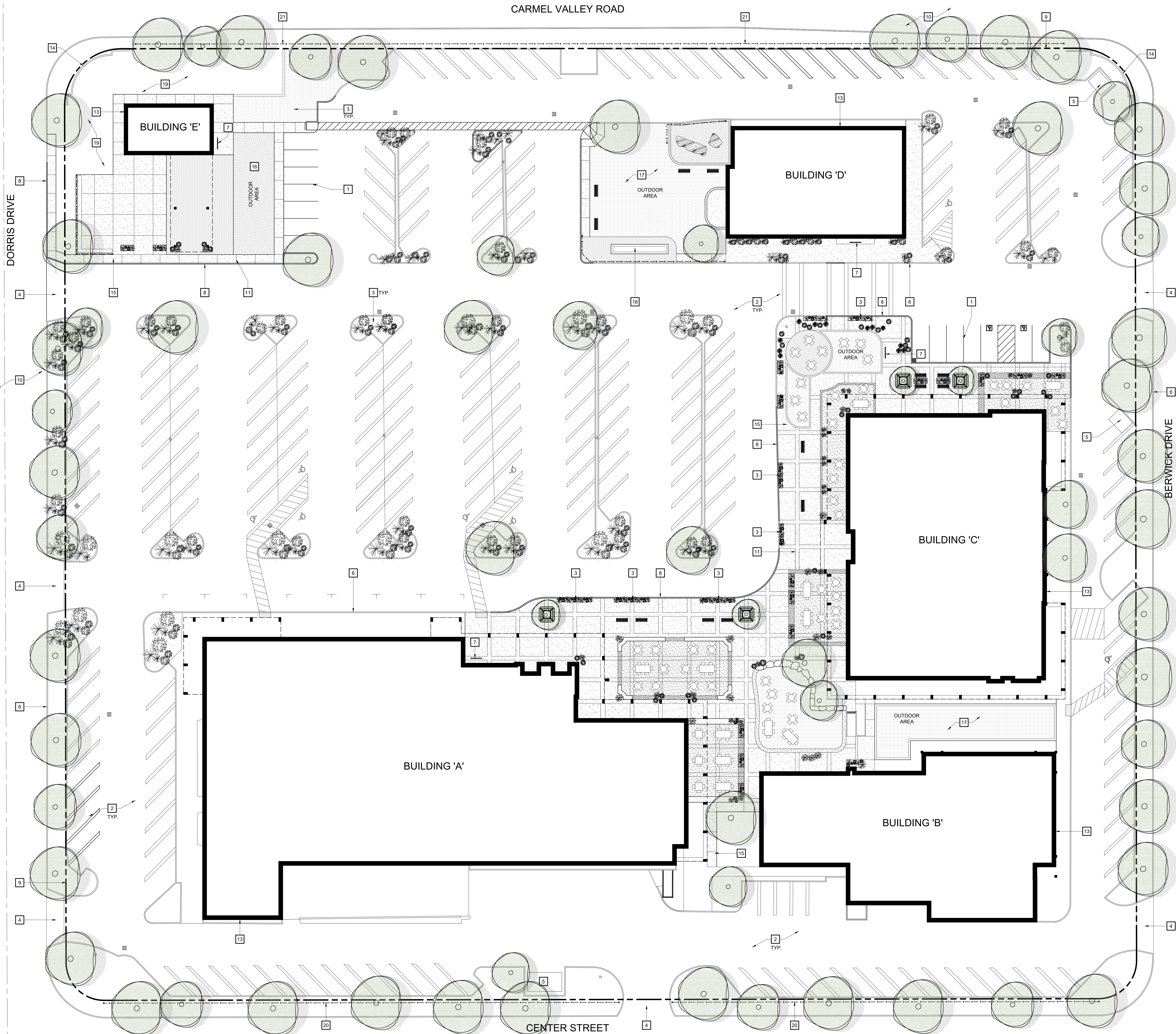
SHEET NAME:  
**OVERALL DEMOLITION SITE PLAN**

SHEET NO.:  
**D100**

FILE NAME: 18011-D100







**KEY NOTES**

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 4" WIDE PAINTED STALL STRIPING PER COUNTY STANDARDS.
  - 2 EXISTING AC PAVED PARKING LOT AND/OR DRIVEWAY TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
  - 3 INDICATES LANDSCAPING AND IRRIGATION. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
  - 4 INDICATES EXISTING DRIVEWAY APPROACH TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
  - 5 INDICATES EXISTING TRASH / RECYCLE ENCLOSURE.
  - 6 EXISTING CURB, GUTTER & SIDEWALK TO REMAIN. REPAIR AND REPLACE CURB / GUTTER / SIDEWALK AS REQUIRED TO ACCOMMODATE NEW WORK.
  - 7 INDICATES LOCATION OF METAL TUBE BIKE RACK.
  - 8 PROVIDE 6" HIGH CONCRETE CURB TYPICAL AS SHOWN.
  - 9 INDICATES PROPERTY LINE.
  - 10 EXISTING COUNTY MAINTAINED ASPHALT ROAD TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
  - 11 INDICATES CONCRETE CONTROL OR EXPANSION JOINTS AT CONCRETE WALKWAY.
  - 12 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  - 13 EXISTING BUILDING FOOTPRINT. PROTECT FROM DAMAGE.
  - 14 INDICATES LOCATION OF MONUMENT SIGN - DEFERRED SUBMITTAL.
  - 15 PROVIDE CONCRETE WALKWAY WITH SLIP RESISTANT FINISH (MEDIUM SALT FINISH, TYP.) CONCRETE WALK TO BE A MIN. 4'-0" WIDE. PROVIDE POSITIVE SLOPE AWAY FROM BUILDING WHERE APPLICABLE.
  - 16 INDICATES DECOMPOSED GRANITE.
  - 17 INDICATES OPEN LAWN AREA FOR OUTDOOR ACTIVITIES.
  - 18 "MY HEART" CARMEL VALLEY SCULPTURE.
  - 19 VINEYARD AREA
  - 20 4'-0" HIGH WOOD SCREEN WALL.
  - 21 RANCH STYLE WOOD FENCE.

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**PARKING REQUIREMENTS**

|   |                                   |
|---|-----------------------------------|
| TOTAL PARKING REQUIREMENTS:   | 62,480 / 250 = 249.9 (250) STALLS |
| EXISTING PARKING STALLS:  | 252 STALLS                        |
| PROPOSED PARKING STALLS:  | 259 STALLS                        |
| PER CBC TABLE 11B-208.2, (6) ACCESSIBLE SPACES ARE REQUIRED. (1) VAN ACCESSIBLE SPACE (CBC 11B-208.2.4) |                                   |
| NUMBER OF ACCESSIBLE PARKING SPACES PROVIDED  | 7 ACCESSIBLE STALLS               |
| NUMBER OF VAN ACCESSIBLE PARKING SPACES PROVIDED  | 1 ACCESSIBLE VAN STALL            |
| TOTAL NUMBER OF ACCESSIBLE SPACES PROVIDED  | 8 ACCESSIBLE STALLS               |

SHEET NAME:  
**OVERALL SITE PLAN**

SHEET NO.:

**A100**

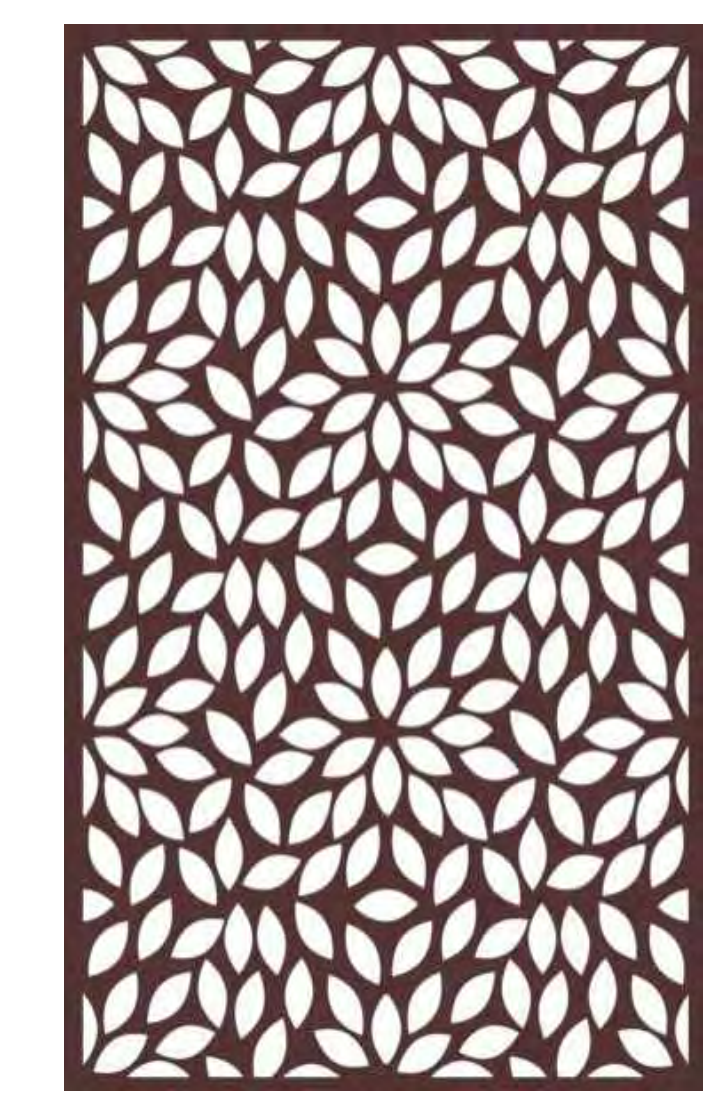
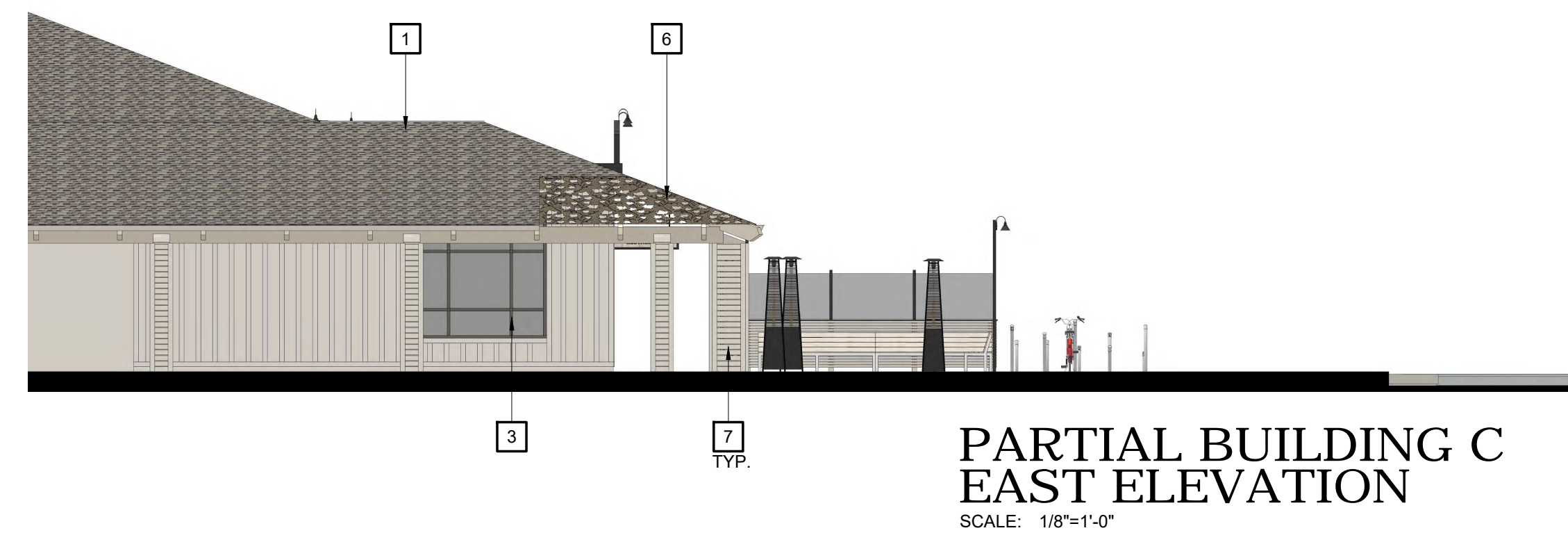
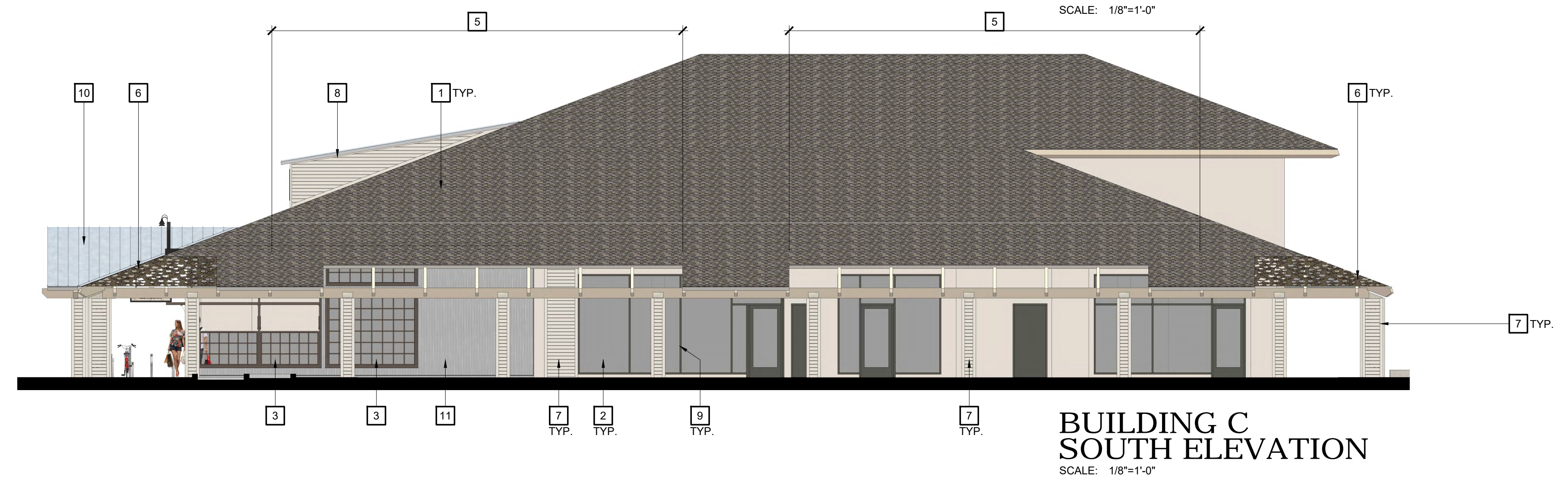
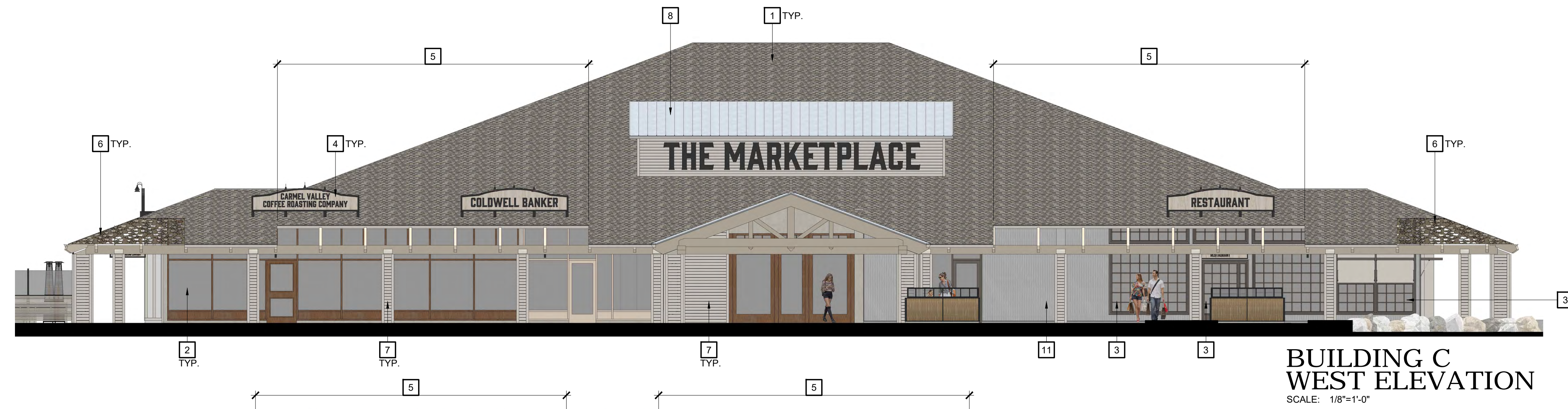
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PLAN NORTH  
TRUE NORTH

**OVERALL SITE PLAN**  
SCALE: 1" = 20'-0"

KEY NOTES

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- 1 INDICATES EXISTING ROOF TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
  - 2 INDICATES EXISTING STOREFRONT GLAZING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
  - 3 INDICATES LOCATION OF NEW WINDOWS. COLOR TO BE 'DUNN EDWARDS' DET630 RENWICK BROWN WITH A SATIN FINISH.
  - 4 INDICATES BUILDING SIGNAGE.
  - 5 INDICATES NEW OPENINGS AT THE EXISTING COVERED WALKWAYS.
  - 6 INDICATES NEW ARTISAN ALUMINUM PANELS. THE PANELS WILL ONLY BE LOCATED AT THE CORNER OPENINGS. SEE 1/A401 FOR EXAMPLE OF PANEL.
  - 7 INDICATES NEW 1'X4 HORIZONTAL SIDING TYPICAL AT EXTERIOR WALLS AND EXTERIOR COLUMNS. COLOR TO BE 'DUNN EDWARDS' DE6212 CRISP MUSLIN.
  - 8 INDICATES NEW ROOF DORMER. MARQUEE SIGNAGE LOCATION. ROOF DORMER TO HAVE 'BERRIDGE' METAL STANDING SEAM ROOF SYSTEM. COLOR TO BE NATURAL METAL FINISH.
  - 9 INDICATES EXISTING STOREFRONT FRAMES TO BE PAINTED. COLOR TO BE 'DUNN EDWARDS' DET630 RENWICK BROWN WITH A SATIN FINISH.
  - 10 INDICATES 'BERRIDGE' STANDING SEAM ROOF SYSTEM AT ENTRY ROOF GABLE. COLOR TO BE NATURAL METAL FINISH.
  - 11 INDICATES CORRUGATED METAL PANEL. COLOR TO BE NATURAL METAL FINISH.



1 ARTISAN PANEL  
ALUMINUM BRONZE  
SCALE: N.T.S.

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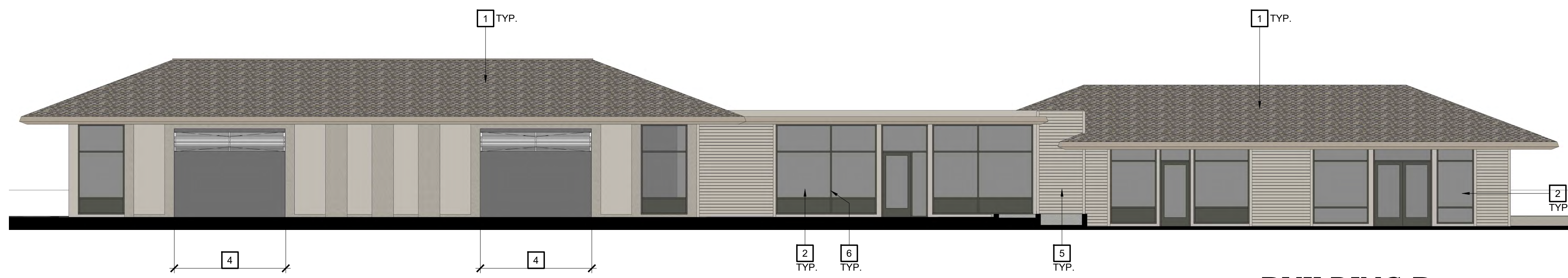
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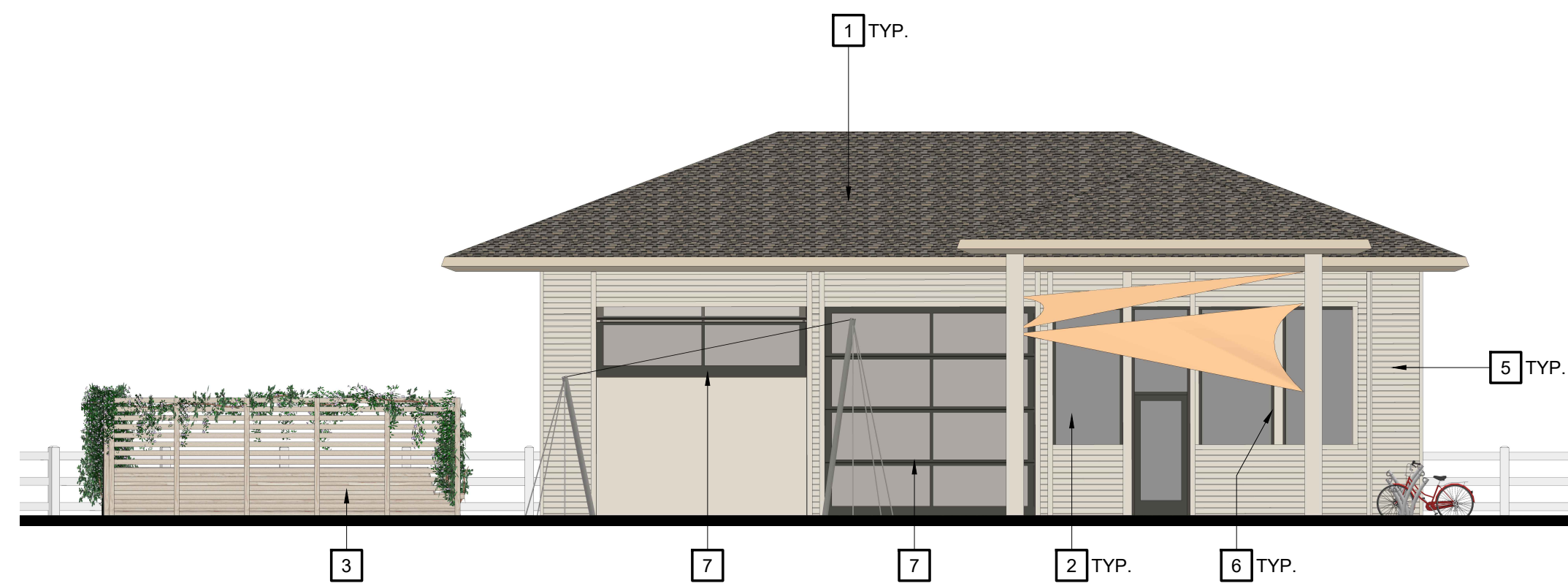
SHEET NAME:  
PROPOSED  
EXTERIOR  
ELEVATIONS

SHEET NO.:  
A401

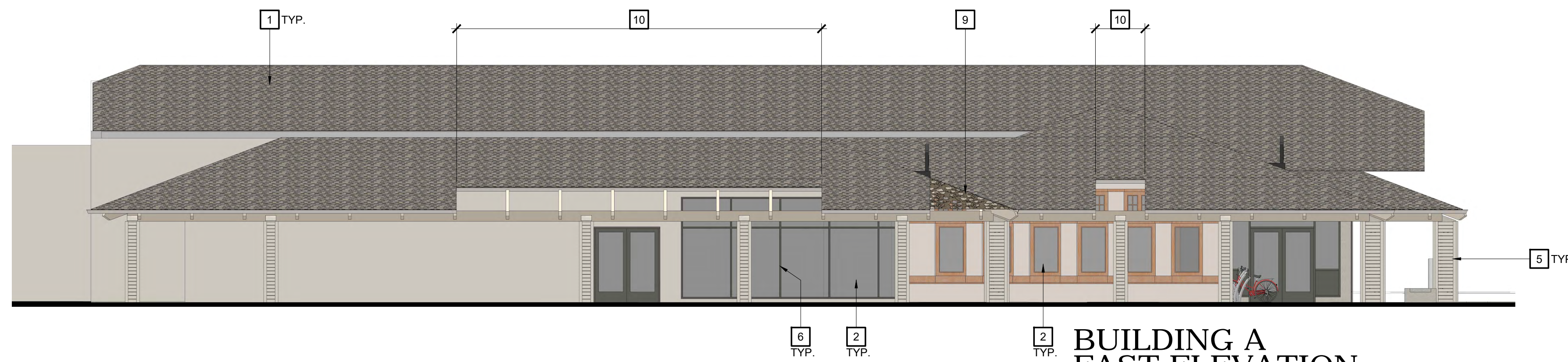
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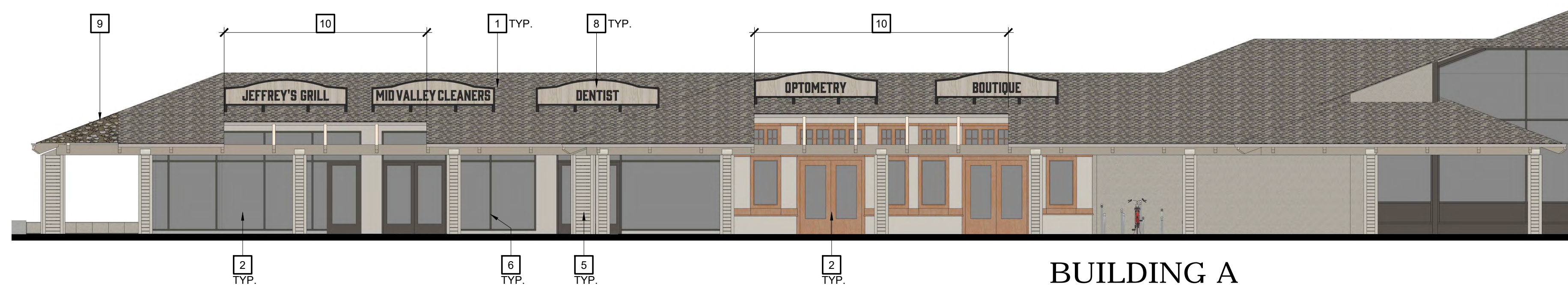
**BUILDING B  
EXTERIOR ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING E  
EXTERIOR ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING A  
EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING A  
NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

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  - 2 INDICATES EXISTING STOREFRONT GLAZING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
  - 3 INDICATES NEW FENCING AROUND ENCLOSED OUTDOOR AREA.
  - 4 INDICATES NEW 9'-0" HIGH x 12'-0" WIDE OPENINGS w/ SECTIONAL ROLL UP DOORS FOR OUTDOOR ACCESS.
  - 5 INDICATES NEW 1X4 HORIZONTAL SIDING TYPICAL AT EXTERIOR WALLS AND EXTERIOR COLUMNS. COLOR TO BE 'DUNN EDWARDS' DE6212 CRISP MUSLIN.
  - 6 INDICATES EXISTING STOREFRONT FRAMES TO BE PAINTED. COLOR TO BE 'DUNN EDWARDS' DET630 RENWICK BROWN WITH A SATIN FINISH.
  - 7 INDICATES EXISTING SECTION ROLL UP DOOR FRAMES TO BE PAINTED WITH COLOR TO BE 'DUNN EDWARDS' DET630 RENWICK BROWN WITH A SATIN FINISH.
  - 8 INDICATES BUILDING SIGNAGE.
  - 9 INDICATES NEW ARTISAN ALUMINUM PANELS. THE PANELS WILL ONLY BE LOCATED AT THE CORNER OPENINGS. SEE 1/A401 FOR EXAMPLE OF PANEL.
  - 10 INDICATES NEW OPENINGS AT THE EXISTING COVERED WALKWAYS.

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EXTERIOR  
ELEVATIONS**

SHEET NO.:  
**A402**

FILE NAME: 18011-A402