

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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Monterey County ALUC Staff  
c/o HCD-Planning  
1441 Schilling Place, 2nd Floor  
Salinas, CA 93901

Phone: (831) 755-5025  
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## REGULAR MEETING AGENDA

Monterey Peninsula Airport District  
Board Meeting Room  
200 Fred Kane Drive, Suite 200  
Monterey, California

**October 23, 2023**

**3:00 p.m.**

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### IMPORTANCE NOTICE REGARDING PARTICPATION IN THE LAIRPORT LAND USE COMMISSION MEETING

To participate in this Monterey County Airport Land Use Commission meeting, public participants are invited to observe and address the Commission in-person at the Board Meeting Room. Instructions for the public to participate are below:

**Participate at the Physical Meeting Site:** Monterey Peninsula Airport District, Board Meeting Road. 200 Fred Kane Drive, Suite 200, Monterey, CA 93940.

#### Meeting Instructions:

1. If a member of the public wishes to comment on a particular agenda item, the public is strongly encouraged to submit their comments in writing via email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Comments should be submitted by 2:00 p.m. on the business day prior to the commission meeting date. To assist Commission staff in identifying the agenda item to which the comment relates, the public is requested to include the file number in the subject line. Comments received by the 2:00 p.m. deadline will be distributed to the Commission and will be placed in the record.
2. If speakers or other members of the public have documents they wish to distribute to the Commission for an agenda item, they are encouraged to submit such documents via email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Documents should be submitted by 2:00 p.m. on the business day prior to the commission meeting date. To assist Commission staff in identifying the agenda item to which the document relates, the public is requested to include the file number in the subject line.
3. If applicants or members of the public want to present documents and/or Power Point presentations while speaking, they should submit the document and/or presentation electronically by 2:00 p.m. on the business day prior to the commission meeting date to Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). If submitted after that deadline, staff will make best efforts, but cannot guarantee, to make the document and/or presentation available to present during the meeting.
4. While the matter is being heard, a member of the public may submit a comment via email, preferably limited to 250 words or less, to Commission staff [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). To assist Commission staff in identifying the agenda item to which the comment relates, the public is requested to include the file number in the subject line. If the comment is received prior to close of public comment on an agenda item, every effort will be made to read the comment into the record, but some comments may not be read out loud due to time limitations or length of the

comment (e.g., if the comment exceeds 250 words). Comments received prior to the close of the public comment period on an agenda item will be made part of the record for that item.

5. Members of the public who wish to make a general public comment for items not on the day's agenda may submit their comment via email, preferably limited to 250 words or less, to the Airport Land Use Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). The Airport Land Use Commission name and meeting date, and "general comment", should be indicated in the subject line. The comment will be placed in the record for the meeting, and every effort will be made to read the comment into the record at the appropriate time on the agenda.
6. Individuals with disabilities who desire to request a reasonable accommodation or modification to observe or participate in the meeting may make such request by sending an email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Such requests include but are not limited to: Wheelchair Accessible Facilities, Sign Language Interpreters and Printed Materials in large print, Braille, or on disk, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. The request should be made no later than 12:00 p.m. (i.e., noon) two (2) business days prior to the Airport Land Use Commission meeting date in order to provide time for the Commission staff to address the request.
7. The Commission Chair and/or Secretary may set reasonable rules as needed to conduct the meeting in an orderly manner.

**1. CALL TO ORDER – Pledge of Allegiance**

**2. ROLL CALL**

*Any Commissioner who will not be able to attend the scheduled public meeting shall notify the Chair, their Proxy, and ALUC staff.*

**3. PUBLIC COMMENT**

*The Commission will receive public comment on non-agenda items within the purview of the Commission. It is not necessary to complete a speaker request form. The Chair may limit the length of individual presentations to 3 minutes.*

**4. COMMISSIONER'S COMMENTS**

*Commissioners may speak on non-agenda items within the purview of the Commission.*

**5. APPROVAL OF MINUTES**

October 9, 2023

**6. CONSENT**

None

**7. SCHEDULED ITEMS**

*Note: Action listed for each item represents staff recommendation. The Commission may, at its discretion, take any action on the items listed on the Agenda.*

**a. REF230031 – City of Pacific Grove**

Proposed adoption of City of Pacific Grove's draft Housing Element.  
Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport

**b. REF230032 – City of Seaside**

Proposed adoption of City of Seaside's draft Housing Element  
Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

**c. REF230033 – City of Sand City**

Proposed adoption of City of Sand City's draft Housing Element and Zoning Ordinance amendments.

Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport

**d. PLN230035 – Bengard Family Partnership et al (County of Monterey)**

Proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements.

Proposed Action: Find the project consistent with the 1982 Airport Land Use Plan for Salinas Municipal Airport.

**e. Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding local jurisdiction progress on the requirement to amend applicable general and specific plans in response to the adoption of the ALUCPs for Monterey Regional Airport and Marina Municipal Airport.

Proposed Action: For information only. No action required.

**f. Future Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding funding and staff resources for future updates to the ALUCPs for Salinas Municipal Airport and Mesa Del Rey (King City) Airport.

Proposed Action: For information only. No action required.

**8. ANNOUNCEMENTS**

**9. ADJOURNMENT**

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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Monterey Peninsula Airport  
Board Meeting Room  
200 Fred Kane Drive, Suite 200  
Monterey, California

### **Action Minutes of the Proceedings of the Commissioners of the Monterey County Airport Land Use Commission for Monday, October 9, 2023 – Special Meeting**

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#### **1. CALL TO ORDER – Pledge of Allegiance**

The Monterey County Airport Land Use Commission (ALUC), Commissioner (Chair) Cohan presiding, convened at 3:01 p.m. Commission members and members of the public attended/participated physically.

#### **2. ROLL CALL**

##### **Commissioners (or Proxy) Present:**

Commissioner Williamson, Cleveland, Sabo, Scherer, Cohan, Stewart – a quorum

##### **Commissioners Not Present and Not Represented by Proxy:**

Commissioner Carbone

##### **ALUC (Monterey County) Staff Present:**

Fionna Jensen, Housing and Community Development (HCD)-Planning  
Robert Brayer, County of Monterey Counsel

##### **For Informational Purposes Only, Members of the Public Participating:**

Jim McClelland

Troy Lawson (Denise Duffy and Associates, c/o City of Del Rey Oaks)  
Monterey Regional Airport Staff – Chris Morello  
Guido Persicone, City of Marina

#### **3. PUBLIC COMMENT**

*The Commission will receive public comment on non-agenda items within the purview of the Commission. It is not necessary to complete a speaker request form. The Chair may limit the length of individual presentations to 3 minutes.*



None.

**4. COMMISSIONER’S COMMENTS**

*Commissioners may speak on non-agenda items within the purview of the Commission.*

Commissioner Cohan spoke about the recent Reno Air races and general airport safety.

**5. APPROVAL OF MINUTES**

The Commission voted 5-0 ( 5 ayes – 0 naves) to approve the minutes of the August 28, 2023 special meeting. Motion to approve made by Commissioner Stewart and seconded by Commissioner Scherer.

**6. CONSENT**

None.

**7. SCHEDULED ITEMS**

*Note: Action listed for each item represents staff recommendation. The Commission may, at its discretion, take any action on the items listed on the Agenda.*

**a. REF230027 – City of Marina**

Proposed adoption of the City of Marina’s draft Housing Element.  
Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Marina Municipal Airport.

The Commission voted 4-1 (4 ayes – 1 naves) to find REF230027 consistent with the 2019 Marina Municipal Airport Land Use Compatibility Plan. Motion to approve made by Commissioner Cleveland and seconded by Commissioner Williamson.

Staff provided a verbal presentation and responded to commissioner comments/questions.

Commissioner Cohan commented on the ALUC’s previous consistency determination of the Marina Station Specific Plan (MSSP) and raised the need to retain open space for airport/flying safety.

Commissioner Cleveland requested clarity on the City’s ability to overrule the ALUC’s determination and whether all affordable units within the MSSP are located in areas subject to high aircraft accidents. All ALUC decisions are subject to override by the local jurisdiction provide a 3/5 vote is made and specific health and safety findings can be made. The affordable housing is dispersed throughout MSSP.

Commissioner Scherer asked City of Marina staff whether there were plans to extend the runway length. No plans at this time.

Commission Stewart raised questions about noise and the need for insulation. California Building Code requires all interior living spaces

to be designed or insulated to achieve interior noise levels of less than 45 dBA.

**b. REF230020 – City of Del Rey Oaks**

Proposed adoption of City of Del Rey Oaks' draft Housing Element and Zoning Ordinance amendments.

Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

The Commission voted 5-0 (5 ayes – 0 nays) to find REF230020 consistent with the 2019 Monterey Regional Airport Land Use Compatibility Plan. Motion to approve made by Commissioner Williamson and seconded by Commissioner Scherer.

Staff provided a verbal presentation and responded to commissioner comments/questions.

Commission Stewart raised questions about noise and the need for insulation. California Building Code requires all interior living spaces to be designed or insulated to achieve interior noise levels of less than 45 dBA.

Commissioner Scherer asked if the housing inventory sites were within the Fort Ord National Monument, which staff clarified that they are not.

**c. Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding local jurisdiction progress on the requirement to amend applicable general and specific plans in response to the adoption of the ALUCPs for Monterey Regional Airport and Marina Municipal Airport.

Proposed Action: For information only. No action required.

Staff provided an update on recent outreach to affected local jurisdictions. County of Monterey, City of Seaside, Sand City, City of Salinas, City of Pacific Grove and City of Monterey are expected to refer their respective Draft Housing Elements to the ALUC by the end of 2023.

**d. Future Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding funding and staff resources for future updates to the ALUCPs for Salinas Municipal Airport and Mesa Del Rey (King City) Airport.

Proposed Action: For information only. No action required.

No updates at this time.

**8. ANNOUNCEMENTS**

**9. ADJOURNMENT**

Meeting adjourned at 3:45pm  
Next scheduled regular meeting: October 23, 2023

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION



### MEMORANDUM

<b>To:</b>	Airport Land Use Commission
<b>From:</b>	Fionna Jensen, ALUC Staff; October 9, 2023 (831) 755-5262, <a href="mailto:JensenF1@co.monterey.ca.us">JensenF1@co.monterey.ca.us</a>
<b>Meeting Date:</b>	October 23, 2023
<b>Subject:</b>	Scheduled Item 7a – Proposed adoption of City of Pacific Grove’s draft Housing Element (ALUC File No. REF230031).

#### RECOMMENDATION:

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the Finding the proposed amendments to the City of Pacific Grove’s Housing Element (General Plan) (ALUC File No. REF230031) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

#### PROPOSED AMENDMENT & BACKGROUND INFORMATION:

On September 19, 2023, the City of Pacific Grove submitted an application (ALUC File No. REF230031) to ALUC staff for a proposed amendment (update) to the Housing Element of the City’s General Plan. Multiple rezones (Zoning Ordinance amendments) will also be required to implement the draft Housing Element; however, such zoning amendments are not proposed at this time and will be submitted to the ALUC for a consistency determination at a later date. This Draft Housing Element represents the 6th Cycle Planning Period update and covers the 2023-2031 planning period, as established by the California Department of Housing and Community Development (HCD).

Pursuant to State law, the City’s Draft Housing Element includes an evaluation of existing and projected housing needs, a review of previous goals and programs, an inventory of sites, identification of housing constraints, development of housing programs to address needs, and quantifiable objectives. The City’s Draft Housing Element may be viewed in its entirety on the City’s public website at the following link: [https://files.cityofpacificgrove.org/Pacific%20Grove%202023%E2%80%932031%20Housing%20Element%20Update\\_with%20Appendices.pdf](https://files.cityofpacificgrove.org/Pacific%20Grove%202023%E2%80%932031%20Housing%20Element%20Update_with%20Appendices.pdf)

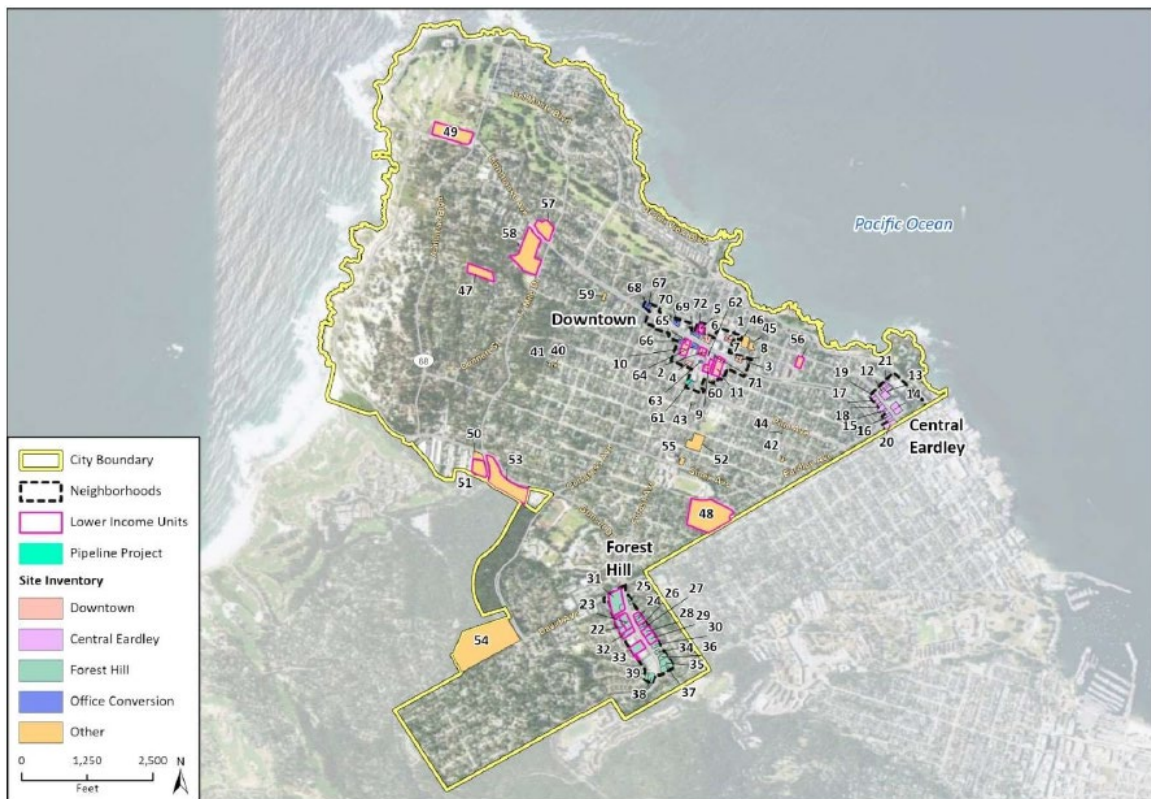
The Draft Housing Element is required to show that the City has adequate sites available to accommodate its Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by HCD. The Association of Monterey Bay Area Governments (AMBAG) is the local agency mandated by California Government Code section 65554(a) to distribute the “Fair Share Allocation” of the regional housing need to each jurisdiction in Monterey and Santa Cruz Counties. No specific housing or

development projects within the City’s jurisdiction are proposed as part of the Draft Housing Element update.

The RHNA plan allocated 1,125 total units as the City’s fair share accommodate for the 6th Cycle Planning Period. The RHNA does not mandate that these units be constructed; it does, however, require that the City demonstrate available vacant lands to meet this projected need. Additionally, Accessory Dwelling Units and Junior Accessory Dwelling Units anticipated to be built between 2023 and 2031 are also credited towards the City’s RHNA pursuant to Government Code Section 65583.1. Residential developments approved and permitted but not yet built (“pipeline projects”) can be credited towards the City’s RHNA for the 6th Cycle Housing Element provided the City can demonstrate that the units can be built by the end of the 6th Cycle’s planning period (2031). Similarly, units within completed projects that have received a certificate of occupancy as of June 30, 2023, can also be credited towards the RHNA.

To demonstrate that the City has sufficient land available to meet the projected need, the City conducted an analysis of available lands in the City to accommodate housing for all income categories. The Draft Housing Element’s Land Use Inventory (see Figure 2-1 of the City’s Consistency Analysis Letter) contains four components, including: 1) identification of vacant or underutilized parcels, 2) analysis of site constraints, 3) assessment of development capacity, and 4) demonstration that zoning is adequate. The Draft Housing Element Land Use Inventory concluded adequate land is available to accommodate the City’s total housing needs. The residential Site Inventory identified 72 vacant and underutilized sites in Pacific Grove which can accommodate a total of 1,224 housing units. Combined with planned and approved projects and ADU trends, these units are more than adequate to meet the City’s RHNA requirement of 1,125 units.

### Available Land Inventory – City of Pacific Grove



All identified sites are planned for development in the City’s General Plan, however, some of the sites are currently not zoned for residential use. Therefore, rezoning of these sites to allow for residential use is also required. However, such rezones are not a part of this application (REF230031) and will be considered by the ALUC at a later date. To complement the draft Housing Element’s encouraged development, the City will be proposing Zoning Ordinance amendments to rezone the following sites:

- **Downtown District** - Increase base zoning for Commercial-Downtown (C-D) from a maximum density of 30 units per acre to 45 units per acre, with a minimum density of 30 units per acre;
- **Forest Hill District** – Establish a maximum density of 45 units per acre with a minimum density of 30 units per acre for all parcels zoned Commercial-Forest Hill (C-FH); and
- **Other Areas** – Five sites are currently zoned Open Space (O) or Unclassified (U), consisting of large publicly owned lots. These sites will be rezoned to Medium Density Residential (R-2) at 17.4 units per acre and to High Density Residential (R-4) at 29 units per acre (with a minimum density of 20 units per acre).

As detailed above, and as a preliminary staff review, the proposed/resulting zoning districts and land use designations will be compatible with the affected safety zone (Safety Zone 7), which allows all uses that are not determined to be hazardous to flight. Water and sewer services, as well as other utilities, are planned for all sites.

As stated above, the Draft Housing Element is only a policy document, and no specific housing or development projects are proposed as part of this update. Any future proposal to rezone or develop the identified housing inventory sites with residential housing will require a ALUC consistency determination review<sup>1</sup>.

#### **CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the City’s proposed amendment (update) to the Housing Element of the City’s General Plan in accordance with the adopted ALUCP as discussed below:

#### **NOISE COMPATIBILITY**

The proposed zoning ordinance amendment and Housing Element (housing inventory sites) were reviewed for consistency with the Long Range Noise Contour Maps (Exhibit 4B of the ALUCP). Per this review, the entirety of the City is located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A, proposed residential sites are located outside of the 65 CNEL and would be compatible with no restrictions or conditions of approval. Furthermore, all

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<sup>1</sup>Pursuant to Government Code Section 65302.3, local jurisdictions and districts had 180 calendar days (or until December 16, 2019) to amend their general plans, specific plans, community plans, and zoning ordinances, as necessary, to be consistent with the 2019 Monterey Municipal ALUCP or take the steps necessary to overrule the ALUC. As of October 2023, the City of Pacific Grove has yet to submit its General Plan, specific plans, community plans, and zoning ordinances to the ALUC for a consistency determination. Until ALUC staff receives the requested documentation, and pursuant to Public Utilities Code Section 21676.5, local agencies shall submit all proposed land use regulations and permit applications within the Airport Influence Area to the ALUC for determination of consistency with the ALUCP. After local agencies have made their plans and ordinances consistent with the ALUCP or overrule the ALUC, local agencies are required to submit only proposed land use policy actions (e.g., proposals to adopt or amend general plans or zoning regulations) to the ALUC for a determination of the consistency of the proposed action with the compatibility plan prior to local agency approval of such action.

future development projects would be required to conform with the current noise insulation standards, and the current California Building Code requires all residential structures to achieve an interior noise level of no more than 45 decibels. Therefore, based on the above analysis, the proposed amendment is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended for the Housing Element.

#### AIRSPACE PROTECTION

The City is located entirely inside the 14 Code of Federal Regulations (CFR) Part 77 approach, horizontal, conical and transitional surfaces for Monterey Regional Airport. Currently, none of the existing buildings within the City penetrate the Part 77 airspace surfaces. Also, any new or remodeled structures would be subject to the existing maximum height restrictions of the City's Zoning Ordinance and would be required to conform to CFR Part 77 requirements. If future development exceeds 100 feet in height, which is not anticipated, FAA and ALUC review and approval would be required. Therefore, it is not anticipated that future structures would penetrate into the Part 77 airspace surfaces, and no further conditions regarding airspace protection are recommended.

#### SAFETY COMPATIBILITY

All identified housing inventory sites are located within Safety Zone 7 (Airport Influence Area) as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones). Pursuant to Table 4B (Safety Criteria Matrix for Zone 7), the proposed Housing Element amendment would not allow any new prohibited uses (i.e., hazards to flight or outdoor stadiums) and there are no limitations on residential density within Safety Zone 7. Therefore, no further conditions regarding safety compatibility are recommended.

#### OTHER FLIGHT HAZARDS

No development is proposed as part of this Housing Element Update. All future projects shall record the standard Airport Disclosure Notice and ensure that all exterior lighting is down lit. Applicable of specific conditions would be better suited during review of specific project developments. Therefore, no further conditions regarding other flight hazards are recommended.

#### **MONTEREY REGIONAL AIRPORT REVIEW:**

On October 9, 2023, ALUC staff forwarded the proposed Housing Element amendment to the Monterey Regional Airport staff for review. No response was received prior to distribution of this report.

#### **CONCLUSION:**

Based on review and analysis of this proposed project, staff recommends the ALUC adopt a resolution finding the City of Pacific Grove's proposed amendment (update) to the Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

#### Attachments:

- Exhibit A - Draft ALUC Resolution
- Exhibit B - City of Pacific Grove Consistency Analysis Letter
- Exhibit C - [Draft Housing Element](#)

cc: ALUC Commissioners; ALUC Counsel; Monterey Peninsula Airport District (C. Morello); City of Pacific Grove (Alyssa Kroeger); ALUC File No. REF230031



## DRAFT RESOLUTION

### Before the Monterey County Airport Land Use Commission, State of California

#### **Resolution No. 23-**

Finding the proposed amendment to the City of Pacific Grove's Housing Element (General Plan) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.  
REF230031, City of Pacific Grove (multiple Assessor's Parcel Numbers)

**WHEREAS**, on September 19, 2023, the City of Pacific Grove (City) submitted an ALUC application for a proposed amendment (update) to the Housing Element of the City's General Plan (ALUC File No. REF230031) to ALUC staff; and

**WHEREAS**, the ALUC is responsible for review of projects within the Airport Influence Area for Monterey Regional Airport, as identified in the 2019 ALUCP; and

**WHEREAS**, the proposed General Plan Housing Element amendment would evaluate the City's existing and projected housing needs, review previous goals and programs, inventory sites within the City, identify housing constraints, discuss development of housing programs to address needs, and list quantifiable objectives; and

**WHEREAS**, as proposed, the amendment would demonstrate that the City has adequate sites available to accommodate its 6th cycle Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, HCD does not mandate that these units be constructed; yet, requires that the City demonstrate available vacant lands to meet the projected housing need (RHNA). No specific housing or development projects within the City's current jurisdiction are proposed as part of the Housing Element update. Future Zoning Ordinance amendments will be required to help accommodate the encouraged and foreseeable development projects and shall be subject to separate ALUC review; and

**WHEREAS**, the City has identified 17 properties within the City boundaries that would meet the City's RHNA requirements. These lands are located entirely within Safety Zone 7 (Airport Influence Area), as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones); and

**WHEREAS**, the proposed Housing Element amendment was reviewed for consistency with the Long Range Noise Contour Exposure Maps for Monterey Regional Airport. The lands proposed for potential future residential uses are located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A (Noise Compatibility Criteria Matrix), all of the proposed residential sites are located outside of the 65 CNEL and are a compatible use with no

restrictions. Therefore, the proposed Housing Element amendment and foreseeable development is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended; and

**WHEREAS**, all proposed housing inventory sites are located within Safety Zone 7, which does not establish residential density restrictions, and therefore the development encouraged by the Housing Element amendment will be a compatible use; and

**WHEREAS**, no development is proposed with implementation of the Housing Element amendment and therefore no hazards to flight will directly occur with adoption of the amendment. Future development of the identified sites may be subject to ALUC review and approval to determine ALUCP compatibility and potential hazards to flight;

**WHEREAS**, the ALUC has reviewed the proposed amendment for noise compatibility, airspace protection, safety compatibility and other flight hazards and determined that no additional recommended conditions are necessary; and

**WHEREAS**, potential application of ALUC conditions would be better suited during ALUC consistency determination of any future General Plan Land Use Designation and Zoning Map amendments for a specific development proposal; and

**WHEREAS**, a complete copy of the proposed amendment is on file with the ALUC staff, and a link to the full Draft Housing Element is included in the ALUC October 23, 2023 staff report; and

**WHEREAS**, on October 23, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed amendments to the Housing Element of the City's General Plan.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the City of Pacific Grove's draft Housing Element consistent with the 2019 ALUCP for Monterey Regional Airport, incorporated herein by reference.

**PASSED AND ADOPTED** on this 23<sup>rd</sup> day of October 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, by the following vote, to-wit:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST  
Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
October 23, 2023



**City of Pacific Grove**

Community Development Department – Housing Division  
300 Forest Avenue, Pacific Grove, CA 93950  
Main: (831) 648-3199  
[www.cityofpacificgrove.org](http://www.cityofpacificgrove.org)

September 19, 2023

Fionna Jensen, Senior Planner  
Monterey County HCD Planning Department  
1441 Schilling Place, Second Floor  
Salinas CA, 93901

**Subject:** Request for Consistency Review and Determination of the City of Pacific Grove’s 6<sup>th</sup> Cycle Draft Housing Element with the 2019 Airport Land Use Compatibility Plan (ALUCP)

Please accept this request for hearing and project submittal of the City’s Draft 6<sup>th</sup> Cycle Housing Element for consistency review with the 2019 Airport Land Use Compatibility Plan for the Monterey Regional Airport. The City is requesting to be agendaized for the September ALUC meeting as the City is aiming to approve the Housing Element for transmittal to HCD on October 18, 2023. The City appreciates your time and attention to this matter. If you have any questions, please contact Alyssa Kroeger, Housing Program Manager at (831) 648-3127 or by email at [akroeger@cityofpacificgrove.org](mailto:akroeger@cityofpacificgrove.org).

This letter serves to provide justification of the City of Pacific Grove’s Draft 6<sup>th</sup> Cycle Housing Element and its consistency with the 2019 ALUCP for the Monterey Regional Airport. The City of Pacific Grove is entirely within the ALUCP’s Zone 7 Airport Influence Area. The City of Pacific Grove’s Draft 6<sup>th</sup> Cycle Housing Element update is required by state law and reviewed by the California Department of Housing and Community Development (HCD). The 6<sup>th</sup> Cycle Housing Element, representing the 8-year period covering 2023-2031, is an update under the City’s pending General Plan amendment.

The City has initiated a Focused General Plan Update (amendment) as an update to its 1994 General Plan. The Focused General Plan Update will amend the Land Use, Safety, and Transportation Elements and will update policies regarding airport land use compatibility as needed to address the expected impacts of the 1,125 new residential units required to be constructed by 2031 to accommodate the 6<sup>th</sup> Cycle Regional Housing Needs Allocation (RHNA). The City’s RHNA requirements across income levels are detailed in the table below as per the Association of Monterey Bay Area Government (AMBAG)’s final RHNA Plan adopted in October of 2022.

Units:	Very Low (50% AMI)	Low (80% AMI)	Moderate (120% AMI)	Above Mod.	Total
RHNA:	362	237	142	384	<b>1,125</b>

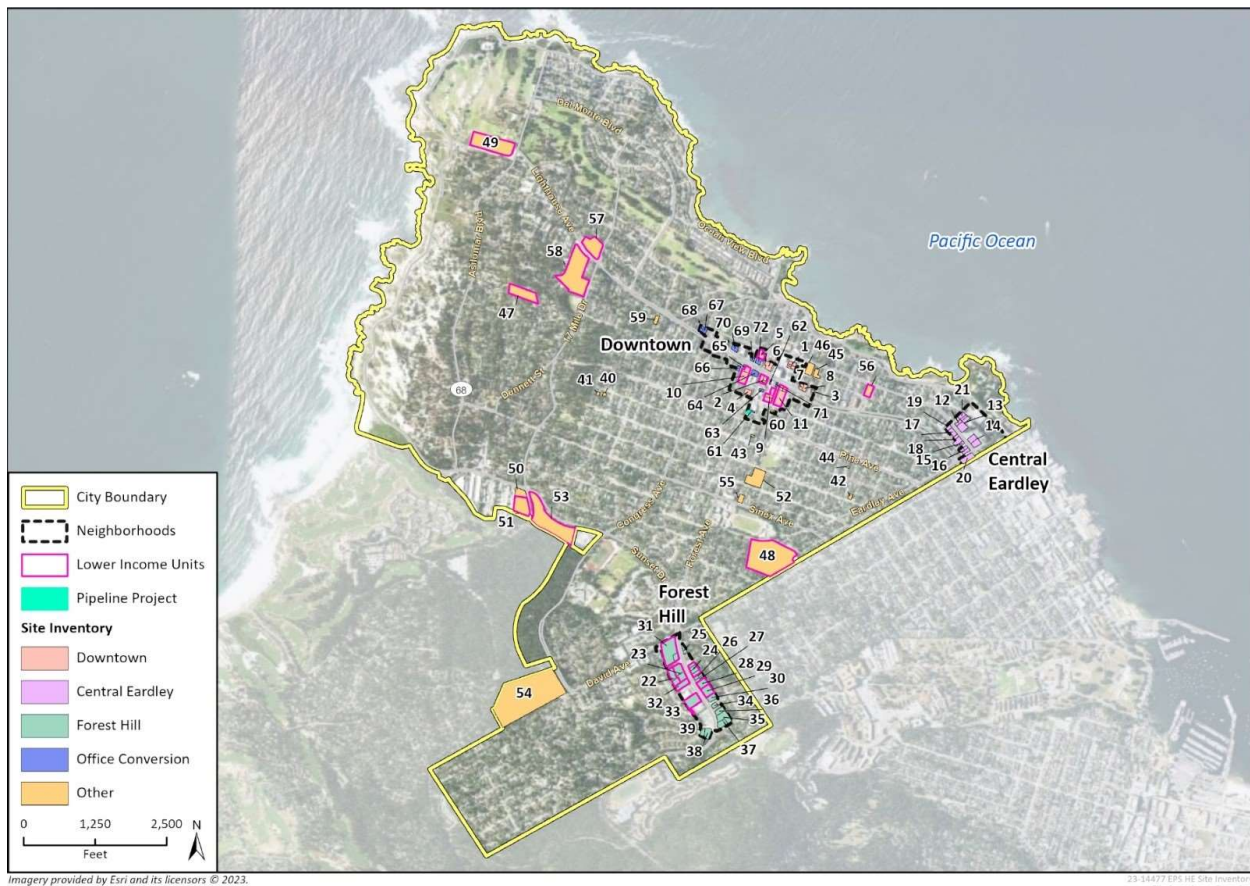
Within the framework of the 6th Cycle Housing Element, a comprehensive analysis of both present and future housing needs and constraints was conducted. This included the development of a suitable housing sites inventory, alongside a suite of policy and program suggestions to address the projected growth and Affirmatively Furthering Fair Housing (AFFH) requirements. The sites inventory identifies suitable vacant and nonvacant sites and analyzes the availability of corresponding infrastructure. The city is required to identify vacant and underutilized sites, planned and approved projects, and Accessory Dwelling Unit (ADU) development trends to adequately meet the 6<sup>th</sup> Cycle RHNA rezoning effort. Base density in various zones needs to be increased in the subsequent zoning amendment and Focused General Plan Update. Proposed rezoning is detailed in Program 5 of Chapter 3 – Housing Action Plan of the Draft 6<sup>th</sup> Cycle Housing Element as follows:

To fully accommodate the remaining RHNA, the City will pursue the following zoning strategies:

- Downtown District - Increase base zoning for Commercial-Downtown (C-D) from a maximum density of 30 units per acre to 45 units per acre, with a minimum density of 30 units per acre;
- Forest Hill District – Establish a maximum density of 45 units per acre with a minimum density of 30 units per acre for all parcels zoned Commercial-Forest Hill (C-FH); and
- Other Areas – Five sites are currently zoned Open Space (O) or Unclassified (U), consisting of large publicly owned lots. These sites will be rezoned to Medium Density Residential (R-2) at 17.4 units per acre and to High Density Residential (R-4) at 29 units per acre (with a minimum density of 20 units per acre).

Although the City will need to increase base-density and rezone utilizing the above strategies, to accommodate the 6<sup>th</sup> Cycle RHNA through amending the Land Use Element under the Focused General Plan Update, this increased density will not result in permitting developments above 10 stories (100 ft) as per requirements under Zone 7 of the 2019 Monterey Regional Airport ALUCP, and there are no density limits in Zone 7. It is not anticipated that future structures would penetrate the Part 77 airspace surfaces and no aviation easements have been required by the City’s General Plan or Zoning Ordinance. For additional detail, a map of the sites inventory can be found below or in Figure 2-1 of Chapter 2 – Housing Resources of the enclosed Draft 6<sup>th</sup> Cycle Housing Element.

**Figure 2-1 Pipeline Project and Housing Sites Identified in Pacific Grove**



The City has reviewed Chapter 4 of the 2019 ALUCP and has determined that the City falls entirely within Zone 7. Based on the Safety Criteria in Table 4B of Chapter 4 in the 2019 Monterey Regional Airport ALUCP, the City’s current and proposed zoning will not drastically change or alter consistency with the ALUCP. The City’s Current and proposed zoning primarily includes residential and commercial districts with a few identified open space and unclassified districts featuring residential, retail, office, and open space. Due to the predominantly built out nature of the City, to propose suitable sites that can accommodate the City’s allocated 1,125 new residential units in the next 8 years, upzoning will be required during the Focused General Plan Update for new development. However, it is not anticipated that upzoning would significantly change the City’s existing built environment.

Furthermore, the facts and findings for consistency of the Draft 6<sup>th</sup> Cycle Housing Element (project) with the ALUCP are as follows:

1. The project is a policy document that will trigger upzoning the Land Use Element during the Focused General Plan Update.
2. The project does not propose any hazards to flight.
3. The project does not propose any very high intensity uses such as stadiums or similar uses.
4. The project does not directly alter any current open space.
5. The project does not alter any nonresidential intensity.

6. The project does not conflict with the airport disclosure notice requirements.
7. The project is not likely to develop heights that exceed 100 sq ft.
8. The project will not develop new structures on existing terrain that penetrates 14 CFR Part 77 surfaces.
9. The project will not result in new development within the 50-foot terrain penetration buffer.
10. The project does not propose any uses to vulnerable occupants within 6,000 feet from the side of the runway or 10,000 feet from the end of the runway. No area of Pacific Grove falls within this safety area.

Sincerely,

Alyssa Kroeger,  
Housing Program Manager  
City of Pacific Grove | Community Development Department

Enclosures:

- A. Project Submittal Form for ALUC Consistency Review,
- B. Draft 6<sup>th</sup> Cycle Housing Element
- C. Fee Waiver Application Form & Corresponding Fee Waiver Policies

CC: Community Development Director, Anastacia Wyatt

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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### MEMORANDUM

<b>To:</b>	Airport Land Use Commission
<b>From:</b>	Fionna Jensen, ALUC Staff; October 9, 2023 (831) 755-5262, <a href="mailto:JensenF1@co.monterey.ca.us">JensenF1@co.monterey.ca.us</a>
<b>Meeting Date:</b>	October 23, 2023
<b>Subject:</b>	Scheduled Item 7b – Proposed adoption of City of Seaside’s draft Housing Element (ALUC File No. REF230032).

#### **RECOMMENDATION:**

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the Finding the proposed amendments to the City of Seaside’s Housing Element (General Plan) (ALUC File No. REF230032) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

#### **PROPOSED AMENDMENT & BACKGROUND INFORMATION:**

On September 25, 2023, the City of Seaside submitted an application (ALUC File No. REF230032) to ALUC staff for a proposed amendment (update) to the Housing Element of the City’s General Plan. This Draft Housing Element represents the 6th Cycle Planning Period update and covers the 2023-2031 planning period, as established by the California Department of Housing and Community Development (HCD).

Pursuant to State law, the City’s Draft Housing Element includes an evaluation of existing and projected housing needs, a review of previous goals and programs, an inventory of sites, identification of housing constraints, development of housing programs to address needs, and quantifiable objectives. The City’s Draft Housing Element may be viewed in its entirety on the City’s public website at the following link: <http://seaside2040.com/index.php/housing-element/>

The Draft Housing Element is required to show that the City has adequate sites available to accommodate its Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by HCD. The Association of Monterey Bay Area Governments (AMBAG) is the local agency mandated by California Government Code section 65554(a) to distribute the “Fair Share Allocation” of the regional housing need to each jurisdiction in Monterey and Santa Cruz Counties. No specific housing or development projects within the City’s current jurisdiction are proposed as part of the Draft Housing Element update.

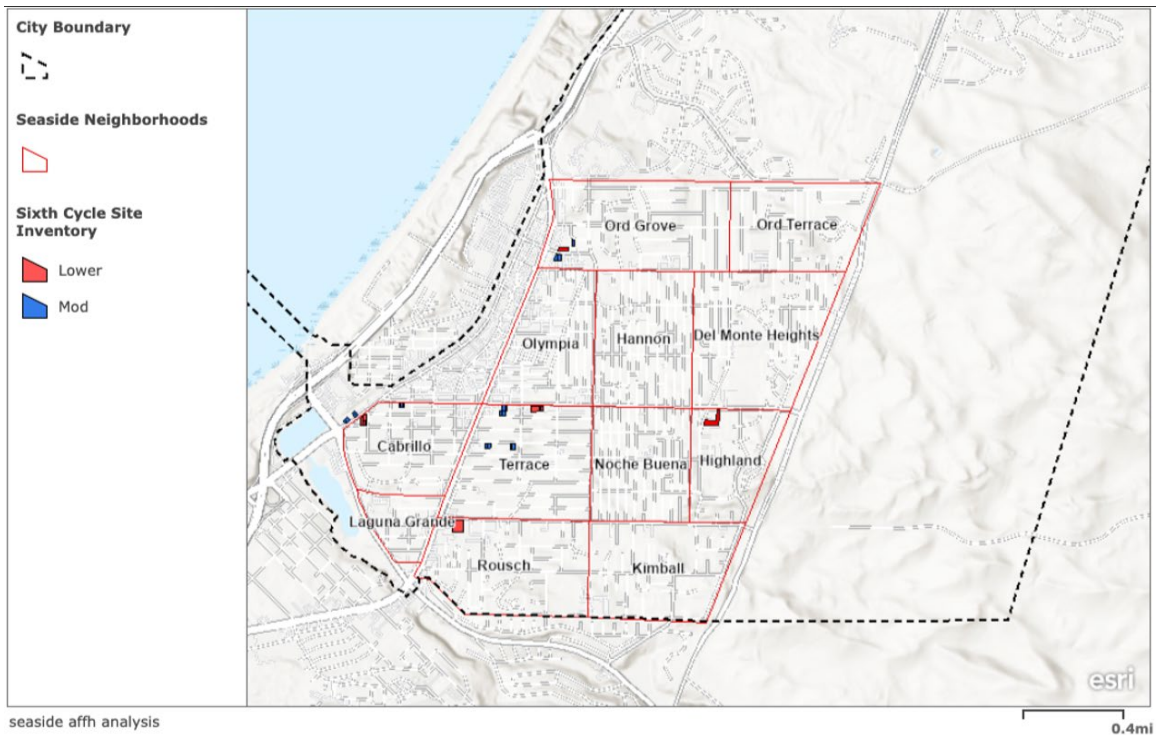
The RHNA plan allocated 616 total units as the City’s fair share accommodate for the 6th Cycle Planning Period. The RHNA does not mandate that these units be constructed; it



does, however, require that the City demonstrate available vacant lands to meet this projected need. Additionally, Accessory Dwelling Units and Junior Accessory Dwelling Units anticipated to be built between 2023 and 2031 are also credited towards the City’s RHNA pursuant to Government Code Section 65583.1. Residential developments approved and permitted but not yet built (“pipeline projects”) can be credited towards the City’s RHNA for the 6th Cycle Housing Element provided the City can demonstrate that the units can be built by the end of the 6th Cycle’s planning period (2031). Similarly, units within completed projects that have received a certificate of occupancy as of June 30, 2023, can also be credited towards the RHNA.

To demonstrate that the City has sufficient land available to meet the projected need, the City conducted an analysis of available lands in the City to accommodate housing for all income categories. The Draft Housing Element’s Land Use Inventory (see below figure) contains four components, including: 1) identification of vacant or underutilized parcels, 2) analysis of site constraints, 3) assessment of development capacity, and 4) demonstration that zoning is adequate. The Draft Housing Element Land Use Inventory concluded adequate land is available to accommodate the City’s total housing needs. The Draft Housing Element identifies 1,498 units from pipeline projects and infill development. The number of infill units was calculated based upon zoning districts. The Housing Element also relies on two pipeline project (Campus Town and Parker Flats) that are not located within the Airport Influence Area (AIA), or any other safety zone, and thus are not regulated by the 2019 ALUCP. The remaining housing inventory sites are located in Zone 7 (AIA). The infill units are located on sites that are already zoned accordingly based on the City’s existing Zoning Code. Therefore, no sites are proposed to be rezoned.

### Available Land Inventory – City of Seaside



As stated above, the Draft Housing Element is only a policy document, and no specific housing or development projects are proposed as part of this update. Any future proposal



to develop the identified housing inventory sites with residential housing will require a ALUC consistency determination review<sup>1</sup>.

### **CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the City's proposed amendment (update) to the Housing Element of the City's General Plan in accordance with the adopted ALUCP as discussed below:

#### NOISE COMPATIBILITY

The draft Housing Element (housing inventory sites) was reviewed for consistency with the Long Range Noise Contour Maps (Exhibit 4B of the ALUCP). Per this review, the entirety of the City is located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A, proposed residential sites are located outside of the 65 CNEL and would be compatible with no restrictions or conditions of approval. Furthermore, all future development projects would be required to conform with the current noise insulation standards, and the current California Building Code requires all residential structures to achieve an interior noise level of no more than 45 decibels. Therefore, based on the above analysis, the proposed amendment is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended for the Housing Element Update.

#### AIRSPACE PROTECTION

The majority of the City is located inside the 14 Code of Federal Regulations (CFR) Part 77 approach, horizontal, conical and transitional surfaces for Monterey Regional Airport. Currently, none of the existing buildings within the City penetrate the Part 77 airspace surfaces. Also, any new or remodeled structures would be subject to the existing maximum height restrictions of the City's Zoning Ordinance and would be required to conform to CFR Part 77 requirements. If future development exceeds 100 feet in height, which is not anticipated, FAA and ALUC review and approval would be required. Therefore, it is not anticipated that future structures would penetrate into the Part 77 airspace surfaces, and no further conditions regarding airspace protection are recommended.

#### SAFETY COMPATIBILITY

All identified housing inventory sites are located within Safety Zone 7 (Airport Influence Area) as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones). Pursuant to Table 4B (Safety Criteria Matrix for Zone 7), the draft Housing Element would not allow any new prohibited uses (i.e., hazards to flight or outdoor stadiums) and there are no limitations on residential density within Safety Zone 7. Therefore, no further conditions regarding safety compatibility are recommended.

#### OTHER FLIGHT HAZARDS

<sup>1</sup>Pursuant to Government Code Section 65302.3, local jurisdictions and districts had 180 calendar days (or until December 16, 2019) to amend their general plans, specific plans, community plans, and zoning ordinances, as necessary, to be consistent with the 2019 Monterey Municipal ALUCP or take the steps necessary to overrule the ALUC. As of October 2023, the City of Seaside has yet to submit its General Plan, specific plans, community plans, and zoning ordinances to the ALUC for a consistency determination. Until ALUC staff receives the requested documentation, and pursuant to Public Utilities Code Section 21676.5, local agencies shall submit all proposed land use regulations and permit applications within the Airport Influence Area to the ALUC for determination of consistency with the ALUCP. After local agencies have made their plans and ordinances consistent with the ALUCP or overrule the ALUC, local agencies are required to submit only proposed land use policy actions (e.g., proposals to adopt or amend general plans or zoning regulations) to the ALUC for a determination of the consistency of the proposed action with the compatibility plan prior to local agency approval of such action.

No development is proposed as part of this Housing Element Update. All future projects shall record the standard Airport Disclosure Notice and ensure that all exterior lighting is down lit. Applicable of specific conditions would be better suited during review of specific project developments. Therefore, no further conditions regarding other flight hazards are recommended.

**MONTEREY REGIONAL AIRPORT REVIEW:**

On October 9, 2023, ALUC staff forwarded the proposed Housing Element amendment to the Monterey Regional Airport staff for review. No response was received prior to distribution of this report.

**CONCLUSION:**

Based on review and analysis of this proposed project, staff recommends the ALUC adopt a resolution finding the proposed City of Seaside's proposed amendment (update) to the Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

Attachments:

- Exhibit A - Draft ALUC Resolution
- Exhibit B - City of Seaside Consistency Analysis Letter
- Exhibit C - [Draft Housing Element](#)

cc: ALUC Commissioners; ALUC Counsel; Monterey Peninsula Airport District (C. Morello); City of Seaside (Alexia Rapoport); ALUC File No. REF230032

## DRAFT RESOLUTION

### Before the Monterey County Airport Land Use Commission, State of California

#### **Resolution No. 23-**

Finding the proposed amendment to the City of Seaside's Housing Element (General Plan) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

REF230032, City of Seaside (multiple Assessor's Parcel Numbers)

**WHEREAS**, on September 25, 2023, the City of Seaside (City) submitted an ALUC application for a proposed amendment (update) to the Housing Element of the City's General Plan (ALUC File No. REF230032) to ALUC staff; and

**WHEREAS**, the ALUC is responsible for review of projects within the Airport Influence Area for Monterey Regional Airport, as identified in the 2019 ALUCP; and

**WHEREAS**, the proposed General Plan Housing Element amendment would evaluate the City's existing and projected housing needs, review previous goals and programs, inventory sites within the City, identify housing constraints, discuss development of housing programs to address needs, and list quantifiable objectives; and

**WHEREAS**, as proposed, the amendment would demonstrate that the City has adequate sites available to accommodate its 6th cycle Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, HCD does not mandate that these units be constructed; yet, requires that the City demonstrate available vacant lands to meet the projected housing need (RHNA). No specific housing or development projects within the City's current jurisdiction are proposed as part of the Housing Element update. Future Zoning Ordinance amendments will be required to help accommodate the encouraged and foreseeable development projects and shall be subject to separate ALUC review; and

**WHEREAS**, the City has identified numerous infill properties and pipeline projects within the City boundaries that would meet the City's RHNA requirements. These lands are located entirely within Safety Zone 7 (Airport Influence Area), as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones); and

**WHEREAS**, the proposed Housing Element amendment was reviewed for consistency with the Long Range Noise Contour Exposure Maps for Monterey Regional Airport. The lands proposed for potential future residential uses are located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A (Noise Compatibility Criteria Matrix), all of the proposed residential sites are located outside of the 65 CNEL and are a compatible use with no

restrictions. Therefore, the proposed amendment and foreseeable development is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended; and

**WHEREAS**, all proposed housing inventory sites are located within Safety Zone 7, which does not establish residential density restrictions, and therefore the development encouraged by the Housing Element amendment will be a compatible use; and

**WHEREAS**, no development is proposed with implementation of the Housing Element amendment and therefore no hazards to flight will directly occur with adoption of the amendment. Future development of the identified sites may be subject to ALUC review and approval to determine ALUCP compatibility and potential hazards to flight;

**WHEREAS**, the ALUC has reviewed the proposed amendment for noise compatibility, airspace protection, safety compatibility and other flight hazards and determined that no additional recommended conditions are necessary; and

**WHEREAS**, potential application of ALUC conditions would be better suited during ALUC consistency determination of any future General Plan Land Use Designation and Zoning Map amendments for a specific development proposal; and

**WHEREAS**, a complete copy of the proposed amendment is on file with the ALUC staff, and a link to the full Draft Housing Element is included in the ALUC October 23, 2023 staff report; and

**WHEREAS**, on October 23, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed amendments to the Housing Element of the City's General Plan.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the City of Seaside's draft Housing Element consistent with the 2019 ALUCP for Monterey Regional Airport, incorporated herein by reference.

**PASSED AND ADOPTED** on this 23<sup>rd</sup> day of October 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, by the following vote, to-wit:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST  
Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
October 23, 2023



**COMMUNITY DEVELOPMENT DEPARTMENT**

440 Harcourt Avenue  
Seaside, CA 93955

Telephone (831) 899-6772  
FAX (831) 899-6211  
TDD (831) 899-6207

September 25, 2023

Monterey County Airport Land Use Commission  
1441 Schilling Place, South 2<sup>nd</sup> Floor  
Salinas, CA 93901

Dear Monterey County Staff and Airport Land Use Commission,

The City of Seaside Draft 6<sup>th</sup> Cycle Housing Element was released for public comment on May 22, 2023. The public comment period for the draft closed on June 26, 2023. The draft's release was the result of a process which began in 2015.

The Draft 6<sup>th</sup> Cycle Housing Element analyzes and addresses the City of Seaside's current and future housing needs for the 2023-2031 housing cycle period. The City of Seaside must account for a total Regional Housing Needs Allocation (RHNA) of 616 units.

The Draft Housing Element identified 1,498 units from already-approved projects and infill development. The number of infill units has been calculated based upon zoning districts. Units to be included as part of the Campus Town and Parker Flats projects are not located within any Airport Safety Zone. The remaining units would be located in Zone 7: Airport Influence Area. Infill units are located on sites that are already zoned accordingly based on the City's existing Zoning Code. No sites are proposed to be rezoned in order to meet Housing Element goals. Therefore, the Draft Housing Element does not propose any additional units beyond housing projects which have already been approved or those identified in the City's existing General Plan. As such, said units would not be impacted by noise, airspace protection, or safety beyond previously-analyzed levels.

The City's Draft Housing Element and its corresponding Technical Appendix are available for review at <http://seaside2040.com/index.php/housing-element/>

The City's Zoning Code will be updated separately as part of its General Plan Update. Information regarding the General Plan Update and its updated Land Use Element can be accessed at <http://seaside2040.com>. The General Plan will be submitted to the Airport Land Use Commission at a later date.

Thank you,

Alexia Rapoport

Housing Program Manager

City of Seaside

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION



### MEMORANDUM

<b>To:</b>	Airport Land Use Commission
<b>From:</b>	Fionna Jensen, ALUC Staff; October 9, 2023 (831) 796-6407 <a href="mailto:JensenF1@co.monterey.ca.us">JensenF1@co.monterey.ca.us</a>
<b>Meeting Date:</b>	October 23, 2023
<b>Subject:</b>	Scheduled Item 7a – Proposed adoption of City of Sand City’s draft Housing Element (ALUC File No. REF230033).

#### RECOMMENDATION:

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the Finding the proposed amendment to the City of Sand City’s Housing Element (General Plan) (ALUC File No. REF230033) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

#### PROPOSED AMENDMENT & BACKGROUND INFORMATION:

On September 22, 2023, the City of Sand City submitted an application (ALUC File No. REF230033) to ALUC staff for a proposed amendment (update) to the Housing Element of the City’s General Plan. Multiple Zoning Ordinance amendments are also contemplated in the draft Housing Element, however the specific Ordinance language was not available for consideration with this application and therefore will require separate referral to the ALUC. This Draft Housing Element represents the 6th Cycle Planning Period update and covers the 2023-2031 planning period, as established by the California Department of Housing and Community Development (HCD).

Pursuant to State law, the City’s Draft Housing Element includes an evaluation of existing and projected housing needs, a review of previous goals and programs, an inventory of sites, identification of housing constraints, development of housing programs to address needs, and quantifiable objectives. The City’s Draft Housing Element may be viewed in its entirety on the City’s public website at the following link: <https://www.sandcity.org/home/showpublisheddocument/3912/638315052659500000>

The Draft Housing Element is required to show that the City has adequate sites available to accommodate its Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by HCD. The Association of Monterey Bay Area Governments (AMBAG) is the local agency mandated by California Government Code section 65554(a) to distribute the “Fair Share Allocation” of the regional housing need to each jurisdiction in Monterey and Santa Cruz Counties. No specific housing or development projects within the City’s current jurisdiction are proposed as part of the Draft Housing Element update.

The RHNA plan allocated 260 total units as the City's fair share accommodate for the 6th Cycle Planning Period. The RHNA does not mandate that these units be constructed; it does, however, require that the City demonstrate available vacant lands to meet this projected need. Additionally, Accessory Dwelling Units and Junior Accessory Dwelling Units anticipated to be built between 2023 and 2031 are also credited towards the City's RHNA pursuant to Government Code Section 65583.1. Residential developments approved and permitted but not yet built ("pipeline projects") can be credited towards the City's RHNA for the 6th Cycle Housing Element provided the City can demonstrate that the units can be built by the end of the 6th Cycle's planning period (2031). Similarly, units within completed projects that have received a certificate of occupancy as of June 30, 2023, can also be credited towards the RHNA.

To demonstrate that the City has sufficient land available to meet the projected need, the City conducted an analysis of available lands in the City to accommodate housing for all income categories. The Draft Housing Element's Land Use Inventory (see Figure 1 of the City's Consistency Analysis Letter) contains four components, including: 1) identification of vacant or underutilized parcels, 2) analysis of site constraints, 3) assessment of development capacity, and 4) demonstration that zoning is adequate. The Draft Housing Element Land Use Inventory concluded adequate land is available to accommodate the City's total housing needs. The residential Site Inventory identified 17 vacant, underutilized, consolidated, and pipeline project sites in Sand City which can accommodate a total of 260 housing units.

All identified sites are planned for development in the City's General Plan. The 6th Cycle Housing Element will not result in any zoning designation changes. However, the update will amend the City's Zoning Ordinance to streamline development review by permitting conditional height maximums (up to 80 feet) and density incentives (81 dwelling units per acre) within the MU-P district. Future Zoning Ordinance amendments require a separate consistency determination by the ALUC.

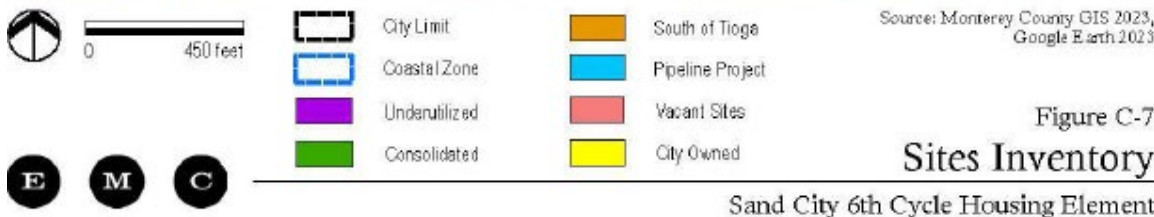
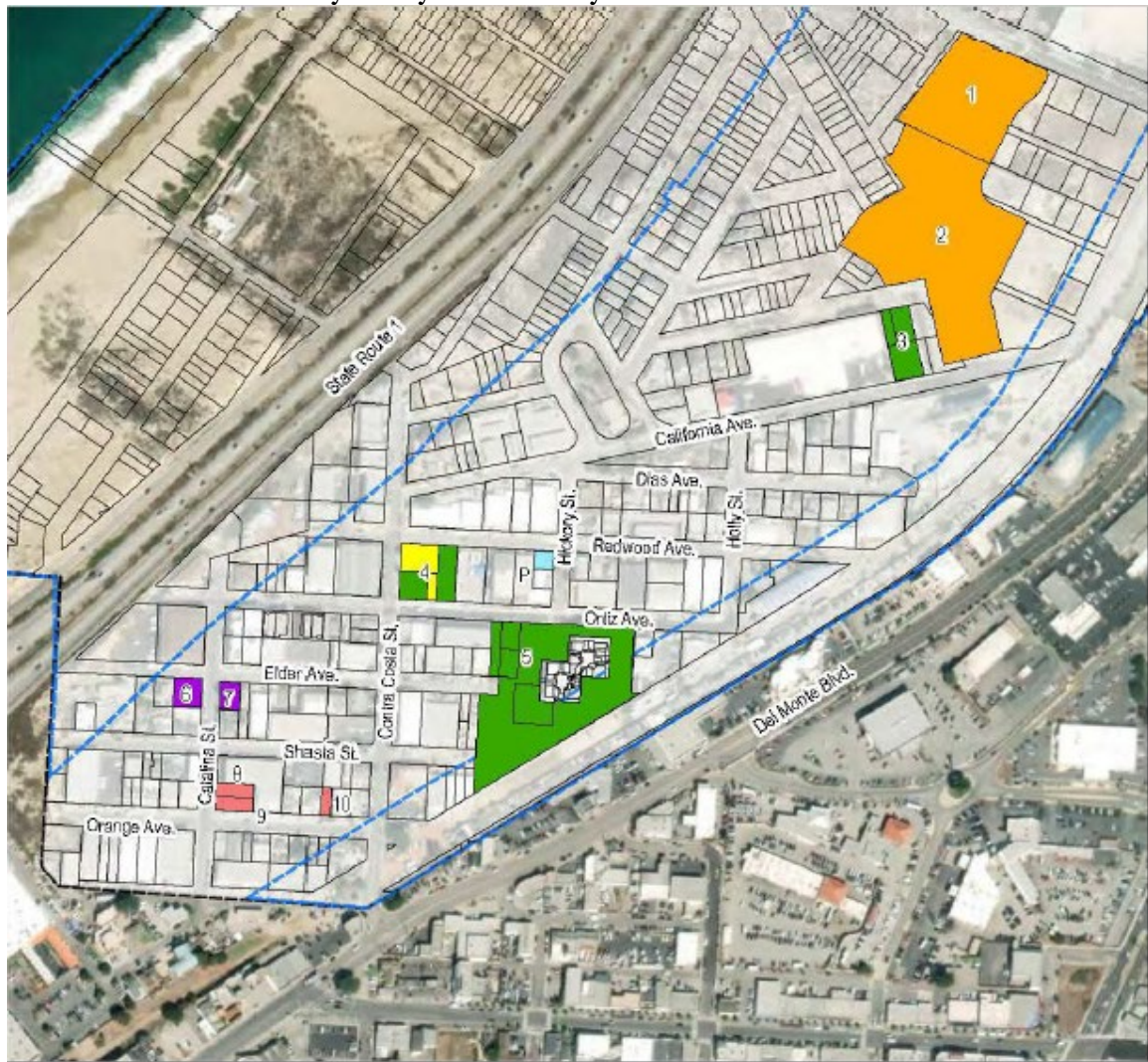
As stated above, the Draft Housing Element is only a policy document, and no specific housing or development projects are proposed as part of this update. Any future proposal to develop the identified housing inventory sites with residential housing will require a ALUC consistency determination review<sup>1</sup>.

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<sup>1</sup>Pursuant to Government Code Section 65302.3, local jurisdictions and districts had 180 calendar days (or until December 16, 2019) to amend their general plans, specific plans, community plans, and zoning ordinances, as necessary, to be consistent with the 2019 Monterey ALUCP or take the steps necessary to overrule the ALUC. As of October 2023, the City of Sand City has yet to submit its General Plan, specific plans, community plans, and zoning ordinances to the ALUC for a consistency determination. Until ALUC staff receives the requested documentation, and pursuant to Public Utilities Code Section 21676.5, local agencies shall submit all proposed land use regulations and permit applications within the Airport Influence Area to the ALUC for determination of consistency with the ALUCP. After local agencies have made their plans and ordinances consistent with the ALUCP or overrule the ALUC, local agencies are required to submit only proposed land use policy actions (e.g., proposals to adopt or amend general plans or zoning regulations) to the ALUC for a determination of the consistency of the proposed action with the compatibility plan prior to local agency approval of such action.



Available Land Inventory – City of Sand City



**CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the City’s proposed amendment (update) to the Housing Element in accordance with the adopted ALUCP as discussed below:

NOISE COMPATIBILITY

The proposed zoning ordinance amendment and Housing Element (housing inventory sites) were reviewed for consistency with the Long Range Noise Contour Maps (Exhibit 4B of the ALUCP). Per this review, the entirety of the City is located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A, proposed residential sites are located outside of the 65 CNEL and would be compatible with no restrictions or conditions of approval. Furthermore, all future development projects would be required to conform with the current noise insulation standards, and the current California Building Code requires all residential



structures to achieve an interior noise level of no more than 45 decibels. Therefore, based on the above analysis, the proposed amendment is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended for the draft Housing Element.

#### AIRSPACE PROTECTION

The City is located entirely inside the 14 Code of Federal Regulations (CFR) Part 77 approach, horizontal, conical and transitional surfaces for Monterey Regional Airport. Currently, none of the existing buildings within the City penetrate the Part 77 airspace surfaces. Also, any new or remodeled structures would be subject to the existing maximum height restrictions of the City's Zoning Ordinance and would be required to conform to CFR Part 77 requirements. If future development exceeds 100 feet in height, which is not anticipated, FAA and ALUC review and approval would be required. Therefore, it is not anticipated that future structures would penetrate into the Part 77 airspace surfaces, and no further conditions regarding airspace protection are recommended.

#### SAFETY COMPATIBILITY

All identified housing inventory sites, and the changes to be implemented under the draft Zoning Ordinance amendments, are located within Safety Zone 7 (Airport Influence Area) as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones). Pursuant to Table 4B (Safety Criteria Matrix for Zone 7), the draft Housing Element amendments (and associated future Zoning Ordinances) would not allow any new prohibited uses (i.e., hazards to flight or outdoor stadiums) and there are no limitations on residential density within Safety Zone 7. Therefore, no further conditions regarding safety compatibility are recommended.

#### OTHER FLIGHT HAZARDS

No development is proposed as part of this Housing Element Update. All future projects shall record the standard Airport Disclosure Notice and ensure that all exterior lighting is down lit. Applicable of specific conditions would be better suited during review of specific project developments. Therefore, no further conditions regarding other flight hazards are recommended.

#### **MONTEREY REGIONAL AIRPORT REVIEW:**

On October 9, 2023, ALUC staff forwarded the proposed Housing Element amendment to the Monterey Regional Airport staff for review. No response was received prior to distribution of this report.

#### **CONCLUSION:**

Based on review and analysis of this proposed project, staff recommends the ALUC adopt a resolution finding the proposed City of San City's proposed amendment (update) to the Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

#### Attachments:

- Exhibit A - Draft ALUC Resolution
- Exhibit B - City of San City Consistency Analysis Letter
- Exhibit C - [Draft Housing Element](#)

cc: ALUC Commissioners; ALUC Counsel; Monterey Peninsula Airport District (C. Morello); City of Sand (City Vibeke Norgaard and Esme Wahl); ALUC File No. REF230033

## DRAFT RESOLUTION

### Before the Monterey County Airport Land Use Commission, State of California

#### **Resolution No. 23-**

Finding the proposed amendment to the City of Sand City's Housing Element (General Plan) consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

REF230033, City of Sand City (multiple Assessor's Parcel Numbers)

**WHEREAS**, on September 22, 2023, the City of Sand City submitted an ALUC application for a proposed amendment (update) to the Housing Element of the City's General Plan (ALUC File No. REF230033) to ALUC staff; and

**WHEREAS**, the ALUC is responsible for review of projects within the Airport Influence Area for Monterey Regional Airport, as identified in the 2019 ALUCP; and

**WHEREAS**, the proposed General Plan Housing Element amendment would evaluate the City's existing and projected housing needs, review previous goals and programs, inventory sites within the City, identify housing constraints, discuss development of housing programs to address needs, and list quantifiable objectives; and

**WHEREAS**, as proposed, the amendment would demonstrate that the City has adequate sites available to accommodate its 6th cycle Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, HCD does not mandate that these units be constructed; yet, requires that the City demonstrate available vacant lands to meet the projected housing need (RHNA). No specific housing or development projects within the City's current jurisdiction are proposed as part of the Housing Element update. However, Zoning Ordinance amendments (subject to future ALUC review) are also proposed to help accommodate the encouraged and foreseeable development projects; and

**WHEREAS**, the City has identified 17 vacant, underutilized, consolidated, and pipeline project sites within the City boundaries that would meet the City's RHNA requirements. These lands are located entirely within Safety Zone 7 (Airport Influence Area), as shown in ALUCP Exhibit 4C (Monterey Regional Airport Safety Zones); and

**WHEREAS**, the proposed Housing Element amendment was reviewed for consistency with the Long Range Noise Contour Exposure Maps for Monterey Regional Airport. The lands proposed for potential future residential uses are located outside of the 65 (or greater) Community Noise Equivalent Level (CNEL) contour. In accordance with the ALUCP Table 4A (Noise Compatibility Criteria Matrix), all of the proposed residential sites are located outside of the 65 CNEL and are a compatible use with no

restrictions. Therefore, the proposed amendment and foreseeable development is consistent with the ALUCP with regard to noise compatibility criteria, and no further conditions regarding noise are recommended; and

**WHEREAS**, all proposed housing inventory sites are located within Safety Zone 7, which does not establish residential density restrictions. The foreseeable development and future zoning ordinance amendments will result in densities and uses consistent and compatible with the requirements of Safety Zone 7; and

**WHEREAS**, no development is proposed with implementation of the Housing Element amendment and therefore no hazards to flight will directly occur with adoption of the amendment. Future development of the identified sites may be subject to ALUC review and approval to determine ALUCP compatibility and potential hazards to flight;

**WHEREAS**, the ALUC has reviewed the proposed amendments for noise compatibility, airspace protection, safety compatibility and other flight hazards and determined that no additional recommended conditions are necessary; and

**WHEREAS**, potential application of ALUC conditions would be better suited during ALUC consistency determination of any future General Plan Land Use Designation and Zoning Map amendments for a specific development proposal; and

**WHEREAS**, a complete copy of the proposed amendment is on file with the ALUC staff, and a link to the full Draft Housing Element is included in the ALUC October 23, 2023 staff report; and

**WHEREAS**, on October 23, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed amendments to the Housing Element of the City's General Plan.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the City of Sand City's draft Housing Element consistent with the 2019 ALUCP for Monterey Regional Airport, incorporated herein by reference.

**PASSED AND ADOPTED** on this 23<sup>rd</sup> day of October 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST

Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
October 23, 2023



**EMC PLANNING GROUP INC.**  
A LAND USE PLANNING & DESIGN FIRM

601 Abrego Street, Monterey, CA 93940  
Tel: 831-649-1799 / Fax: 831-649-8399  
www.emcplanning.com

**To:** Fionna Jensen, Senior Planner, County of Monterey  
**From:** Esme Wahl, Associate Planner, EMC Planning Group  
**Cc:** Vibeke Norgaard, City Manager, City of Sand City  
**Date:** September 22, 2023

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**Re:** Request for Consistency Analysis from the Monterey County Airport Land Use Commission (ALUC) for the City of Sand City 2023 Housing Element Update

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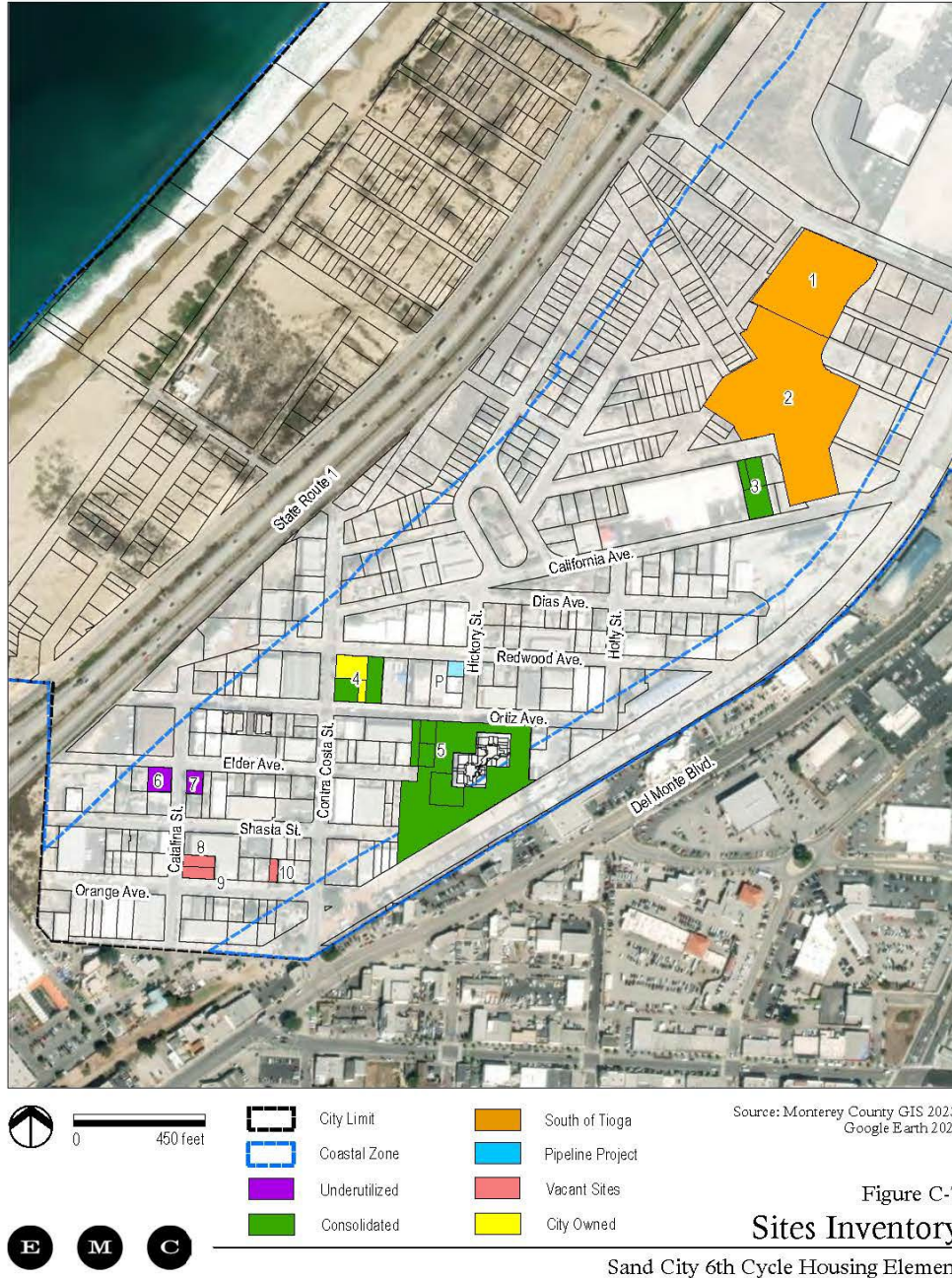
Message:

The City of Sand City is requesting a consistency analysis from the ALUC for the City's 6<sup>th</sup> Cycle Housing Element Update. Pursuant to state law, the Housing Element must be updated periodically according to statutory deadlines. This 6<sup>th</sup> Cycle Housing Element covers the planning period 2023 through 2031 and replaces the City's 5<sup>th</sup> Cycle Housing Element that covered the period 2015 through 2023.

Sand City's 6<sup>th</sup> Cycle Housing Element Update (HEU) plans for 260 new units of varying affordability levels. To accommodate for these units, the Housing Element includes a housing sites inventory map (See Figure 1 below; **Attachment A, 6<sup>th</sup> Cycle Sites Inventory Map**) which identifies parcels available to accommodate the RHNA and includes programs to streamline permit processing and increase density and height limits within the MU-P district, which will result in zoning ordinance updates (see **Attachment B, Zoning Map**). The 6<sup>th</sup> Cycle Housing Element update is a planning document and will not result in the approval of housing units, but rather ensures that the City is capable of accommodating the RHNA.

MEMORANDUM

Figure 1, 6<sup>th</sup> Cycle Sites Inventory Map



This memo describes the Housing Elements consistency with the following three criteria: noise, safety, and airspace protection.

### Noise

Exhibit 4B of the Airport Land Use Compatibility (ALUC) Plan shows Sand City located outside of the Long-Range Noise Contours. Table 4A determines which uses are compatible within certain noise levels, as mapped by Exhibit 4B. Since Sand City falls outside of the mapped Community Noise Equivalent Levels (CNELs), noise compatibility is not an issue.

### Safety

Sand City is located within the Airport Influence Area (Zone 7, AIA) as identified in the ALUC Plan. In Zone 7, there are no density limits on Dwelling Units per Acre. As a result, the Housing Element's proposed zoning ordinance amendments to enable established density maximums to be applied to all parcels within the planned mixed use (MU-P) is compatible with the ALUC. Additionally, the ALUC requires airspace review for objects over 100 feet within Zone 7. While, the Housing Element will enable the permitted height (without conditional approval) to increase from 65 feet to 80 feet in the mixed use (MU-P) district, this proposed change also remains compatible with the ALUC's Safety Criteria Matrix.

### Airspace Protection

Sand City's 6<sup>th</sup> Cycle Housing Element update is compatible with airspace protection and poses no hazards to flight. Within Zone 7, Airport Land Use Commission review is required for any proposed structure taller than 100 feet. The Sand City Housing Element will not pose a hazard to flight since all structures within the City will remain under 85 feet, which is below the threshold identified for Zone 7.

### Development Review Streamlining

The 6<sup>th</sup> Cycle Housing Element will not result in any zoning designation changes. However, the update will amend the zoning ordinance to streamline development review by permitting conditional height maximums and density incentives already established for lot consolidation, to apply to all parcels within the MU-P district. Specifically, the HEU will:

- Allow new ADU construction for commercial buildings;
- Update the Density Bonus Ordinance to align with State laws and include 10 percent additional density bonus;

*Fionna Jenson*  
*County of Monterey*  
*September 2023, Page 4*

- Allow the established 81 du/acre incentive density for all parcels within the MU-P District without requiring lot consolidation; and
- Allow the established 80-foot height limit in the MU-P District without requiring a conditional use permit.

Thank you for your consideration. If you have any questions, don't hesitate to reach out to [wahl@emcplanning.com](mailto:wahl@emcplanning.com).

Sincerely,

*Esme Wahl*

Esme Wahl, Associate Planner

Attachments:

Attachment A. 6<sup>th</sup> Cycle Site Inventory Map

Attachment B. Zoning Map

Attachment C. 6<sup>th</sup> Cycle Site Inventory Spreadsheet

Cc: Vibeke Norgaard, City Manager

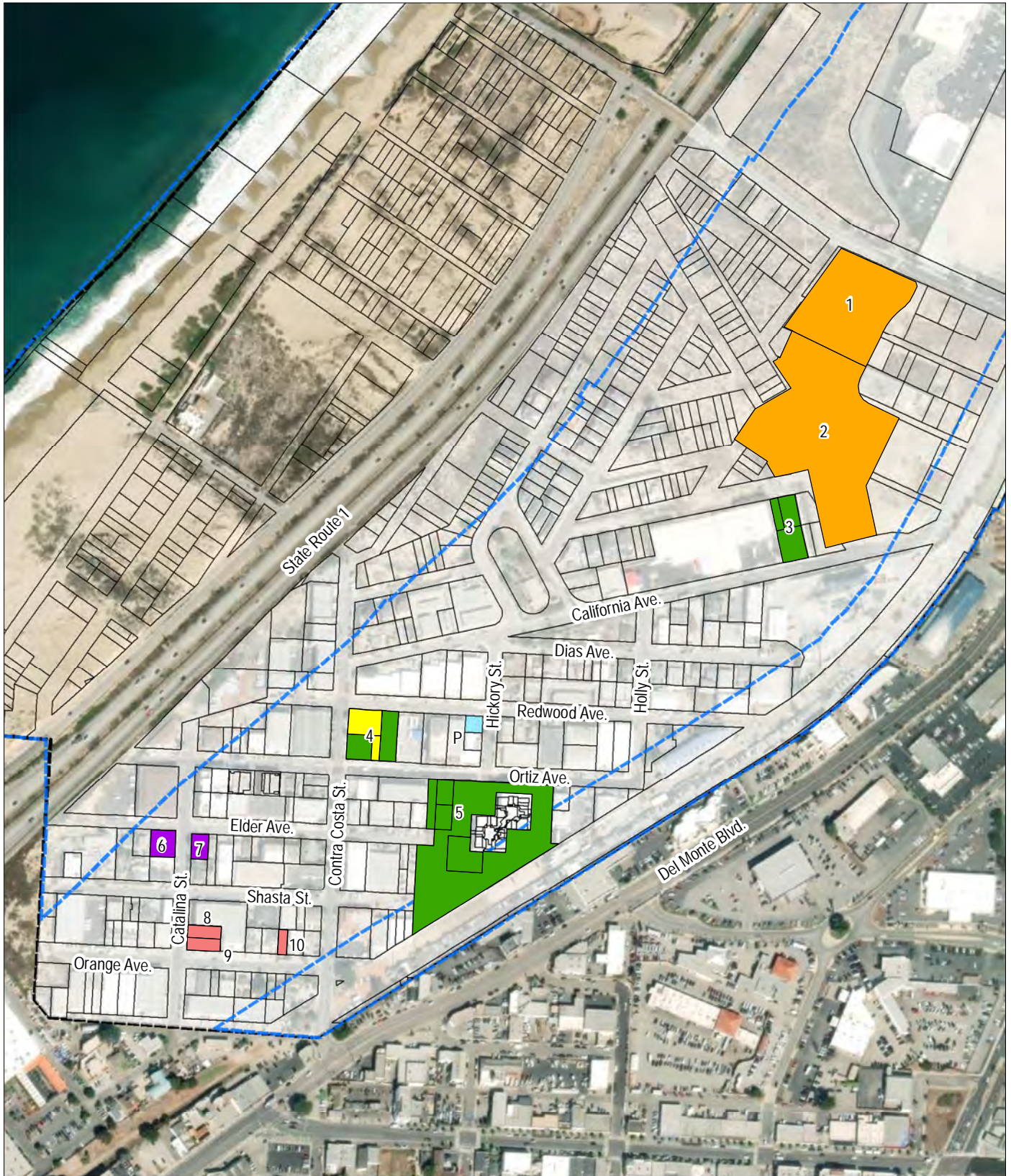
MEMORANDUM



6<sup>th</sup> Cycle Site Inventory Map



ATTACHMENT



- |  |               |  |                  |
|--|---------------|--|------------------|
|  | City Limit    |  | South of Tioga   |
|  | Coastal Zone  |  | Pipeline Project |
|  | Underutilized |  | Vacant Sites     |
|  | Consolidated  |  | City Owned       |

Source: Monterey County GIS 2023, Google Earth 2023

Figure C-7

# Sites Inventory



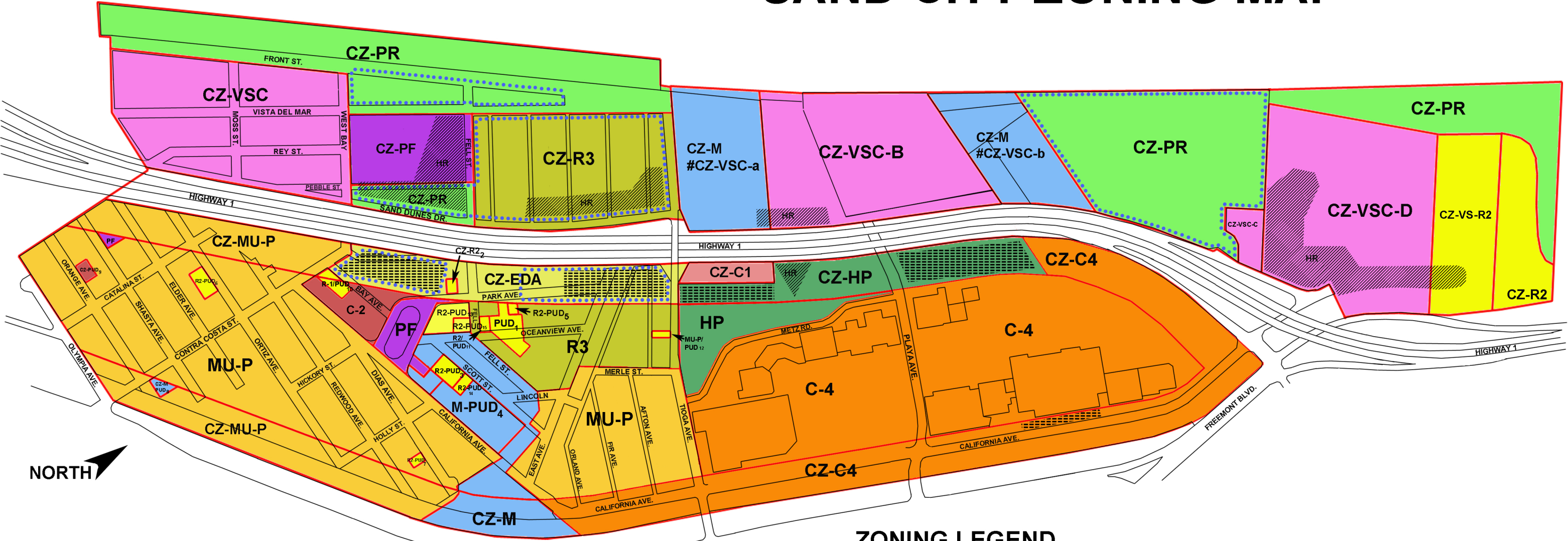
Zoning Map

B

ATTACHMENT



# SAND CITY ZONING MAP



## ZONING LEGEND

### PUD Legend:

PUD ZONING	ORDINANCE NUMBER
PUD 1	95-02
CZ-R2 2	97-02
R2/PUD 3	97-05
M/PUD 4	98-07
R2-PUD 5	99-04
R2-PUD 6	01-02
R2-PUD 7	01-03
CZ-M-PUD 8	01-04
CZ-PUD 9	01-05
R-1/PUD 10	02-05
R2/PUD 11	06-02
MU-P/PUD 12	08-01
R2-PUD 13	14-03
R2-PUD 14	14-06
R2-PUD 15	17-03

### Overlay Zoning Districts:

- Habitat Treatment Zones:**
- ST Special Treatment Area .....
  - RM Resource Management Generalized Locations
  - HR Habitate Restoration Generalized Locations

### Primary Zoning Districts:

- R-1 Single Family Dwelling
- R-2 One-Family / Two Family
- R-3 Multi-Family Residence
- MU-P Planned Mixed-Use
- C-1 Light Commercial
- C-2 Heavy Commercial
- C-3 Neighborhood Commercial
- C-4 Regional Commercial
- M Manufacturing
- PUD Planned Unit Development

### Coastal Zoning Districts:

- CZ-R2 Coastal Residential - Medium Density
- CZ-R3 Coastal Residential - High Density
- CZ-MU-P Coastal Planned Mixed Use
- CZ-VS-R2 Coastal Visitor Serving Residential Medium Density
- CZ-EDA Coastal East Dunes Area
- CZ-C1 Coastal Light Commercial
- CZ-C4 Coastal Regional Commercial
- CZ-VSC Coastal Visitor Serving Commercial
- #CZ-VSC Dual Designation (secondary/future use)
- CZ-M Coastal Manufacturing
- CZ-PF Coastal Public Facility
- CZ-PR Coastal Public Recreation
- CZ-HP Coastal Habitat Preserve
- a,b,B,C,D - see density standards of LCP

6<sup>th</sup> Cycle Site Inventory Spreadsheet

C  
ATTACHMENT

Table A: Housing Element Sites Inventory, Table Starts in Cell A2

For Monterey County jurisdictions, please format the APNs as follows: 999-999-999-999

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Maximum Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)
SAND CITY	South of Tioga (R-1)	93955	011-601-001-000		MU-D	MU-P	20	81	1.74	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Consec
SAND CITY	South of Tioga (R-2)	93955	011-601-002-000		MU-D	MU-P	20	81	3.69	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Consec
SAND CITY	801-803 California Avenue	93955	011-186-020-000		MU-D	M-PUD	20	81	0.17	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	525 Ortiz Avenue	93955	011-196-023-000	A	MU-D	MU-P	20	81	0.173	Public facilities	YES - Current	YES - City-Owned	Available	Used in Prior Housing
SAND CITY	Corner of Contra Costa and Redwood	93955	011-196-020-000	A	MU-D	MU-P	20	81	0.175	Educational/institutio	YES - Current	YES - City-Owned	Available	Used in Prior Housing
SAND CITY	502 Ortiz Avenue	93955	011-196-014-000	A	MU-D	MU-P	20	81	0.04	Parking	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	Corner of Contra Costa and Ortiz Ave	93955	011-196-015-000	A	MU-D	MU-P	20	81	0.13	Parking	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	524 Elder Avenue	93955	011-232-027-000	B	MU-D	MU-P	20	81	0.087	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	525 Elder Avenue	93955	011-232-022-000	B	MU-D	MU-P	20	81	0.087	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	526 Elder Avenue	93955	011-232-021-000	B	MU-D	MU-P	20	81	0.087	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	no address	93955	011-236-027-000	B	MU-D	MU-P	20	81	2.727	Parking	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	no address	93955	011-236-029-000	B	MU-D	MU-P	20	81	0.216	Residential	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	1793 Catalina Street	93955	011-243-004-000		MU-D	MU-P	20	81	0.138	Commercial	YES - Current	NO - Privately-Owned	Available	Not Used in Prior Ho
SAND CITY	1712 Catalina Street	93955	011-237-001-000		MU-D	MU-P	20	81	0.088	Residential	YES - Current	NO - Privately-Owned	Available	Used in Prior Housing
SAND CITY	no address	93955	011-238-012-000		MU-D	MU-P	20	81	0.086	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Consec
SAND CITY	no address	93955	011-238-011-000		MU-D	MU-P	20	81	0.086	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Consec
SAND CITY	445 Orange Avenue	93955	011-238-021-000		MU-D	MU-P	20	81	0.045	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Consec

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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### MEMORANDUM

<b>To:</b>	Airport Land Use Commission (ALUC)
<b>From:</b>	Fionna Jensen, ALUC staff, October 10, 2023 (831) 796-6407
<b>Meeting Date:</b>	October 23, 2023
<b>Subject:</b>	Scheduled Item 7d – Bengard Family Partnership Et Al (County of Monterey) Proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements. (Planning File No. PLN230035).

#### RECOMMENDATION:

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements consistent with the 1982 Airport Land Use Plan (ALUP) for Salinas Municipal Airport.

#### BACKGROUND AND DISCUSSION:

On October 10, 2023, the County of Monterey submitted an application (PLN230035) to ALUC staff requesting consideration of the proposed development located at 1981, 1983, and 1985 Alisal Road, Salinas (Assessor's Parcel Number 153-011-064-000). The proposed project includes construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units and associated site improvements including a laundry facility, a recreation room, open space and informal sports fields.

The 188-acre parcel is currently used for agricultural row-crop production, agricultural employee housing, and agricultural support space (e.g., shops, yards, office, etc.). The existing employee housing consists of 16 apartment units, six single-family homes, and one common laundry room. The project would be occupied primarily during the Salinas Valley harvest season from March through November. The housing would be available for agricultural employees, and the housing would be designed to accommodate up to 360 agricultural employees without dependents. Each apartment unit would be suitable to house eight individuals. The existing housing and agricultural support facilities on the site are not expected to be changed or impacted as part of the proposed project. The proposed project would be occupied for approximately nine months of the year, with the exception of the manager's unit, which would be occupied year-round.

## **CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the County's proposed development in accordance with the adopted ALUP as discussed below:

### NOISE COMPATIBILITY

The proposed development was reviewed for consistency with Map 6 of the ALUP (2000 Community Noise Equivalent Level [CNELs] Noise Contours). The subject property is located of, but in close proximity to the 55 to 65 CNEL contours. Per Diagram E and D of the ALUP, although the subject property is not located within an area subject to higher noise levels (imagery surface of noise exposure), it is partially located within the Local Flight Pattern of Runway 8-26 and thus is subject to similar considerations as those given to imaginary surfaces and may be exposed to additional "noise, vibration and psychological trepidation" (ALUP, page 62). Nevertheless, Diagram D of the ALUP dictates residential uses in this flight pattern are compatible uses and not considered environmentally sensitive land uses. The California Department of Aeronautics' (Caltrans) Airport Land Use Handbook (ALUH) was utilized for staff's noise compatibility analysis. Per Chapter 3.2.1 of the California Department of Aeronautics' Airport Land Use Handbook, the proposed residential use would be considered a noise-incompatible use if no mitigation measures were incorporated to reduce interior noise levels to a level acceptable under the California Building Code. Although the subject property is located outside of the ALUP identified 65 CNEL boundary and more than 3,500 feet northeast of the Airport, an Acoustical Analysis (Monterey County Library No. LIB230208) was prepared. The acoustical engineer determined that the exterior facades of the proposed development may be exposed to CNEL between 56 and 64 decibels. The proposed development is expected to be exposed to greater, more significant levels of overflight noise and low altitude overflight during the Airport's annual California International Airshow. Based on the 2023 California International Airshow performance map, the development site is located outside of but immediately adjacent to the demonstration area (743 acre area).

To accommodate and be resilient to over-flight noise exposure, the project has been conditioned to require that the development be designed and constructed so that interior noise levels do not exceed 45 dBA (see Condition No. ALUC-3). Application of this condition is consistent with the recommendations of the Salinas Airport Manager and the standards set forth in the 2022 California Building Code, which requires that residential habitable spaces, specifically where the exterior CNEL is 60 dBA or higher, be designed so that the interior noise level attributable to exterior sources does not exceed 45 dBA CNEL when doors and windows are closed. As designed and conditioned, the project will incorporate typical exterior design and construction best practices, including dual glazing assemblies and composite exterior walls, to maintain interior noise levels of no more than 45 dBA.

### AIRSPACE PROTECTION & SAFETY COMPATIBILITY

The ALUP does not establish different safety zones within the Airport Influence Area for the Salinas Municipal Airport, and therefore the safety zone map prepared by Caltrans in 2012 was used for this analysis. The prepared safety zone map is based on Caltrans Airport Land Use Handbook (ALUH) and establishes the approximate safety zone boundaries for the Salinas Municipal Airport. Accordingly, the subject property is located within Safety Zone 6 (Traffic Pattern Zone) and outside of the ALUP's Building Restriction Zone (Diagram A of the ALUP). Safety Zone 6 prohibits hazards to flight and very high-intensity uses such as sports stadiums but allows for residential uses at all



densities. Additionally, the proposed residential development contains three apartment buildings containing 45 units and will have a ridge height of approximately 29 feet 6 inches. At the proposed height, the development will not encroach into the imaginary surfaces (Part 77, Diagram B of the ALUP). The project has been conditioned to require the installation of low-level down-lit exterior lighting (see Condition No. ALUC-6) and receipt of a No Hazard Determination from the FAA (subsequent action to filing of form 7460-1) (see Condition No. ALUC-9). The No Hazard Determination will certify that the construction will not negatively or adversely affect the airspace or flying public by way of glare, lighting, or height. Given that the project site is located within the Traffic Pattern Zone (Safety Zone 6) and partially within the Local Flight Pattern of Runway 8-26, Condition No. 1 has been applied to require that the Applicant grant an Avigation Easement over the development site to the Salinas Airport. As proposed and conditioned, the proposed development is an allowed use and will not create a hazard to flight nor interfere with airspace protection.

**MONTEREY REGIONAL AIRPORT REVIEW:**

ALUC staff forwarded project information to the Salinas Airport Manager on October 9, 2023. The Airport Manager requested the granting of an Avigation, filing of FAA form 7460-1 and FAA certification that the development will not adversely affect airspace, and incorporation of appropriate engineering to ensure that interior noise levels do not exceed 45 dBA. ALUC staff finds these requests appropriate and acceptable, and has conditioned the project accordingly. The Airport Manager confirmed via a phone call with ALUC staff on October 10, 2023 that the draft conditions of approvals (Attachment A) satisfy his comments.

**CONCLUSION:**

Based on review and analysis of the proposed Penske Truck service facility, staff recommends the ALUC adopt a resolution finding the proposed consistent with the 1982 Airport Land Use Plan for Salinas Municipal Airport, subject to four conditions of approval.

Attachments:

- |              |  |
|--------------|--|
| Attachment A | Draft ALUC Resolution                  |
|              | • Recommended Conditions of Approval   |
| Attachment B | Project Plans                          |
| Attachment C | Salinas Airport Manager comment letter |

cc: ALUC Commissioners; ALUC Counsel; Salinas Municipal Airport (Brett Godown); County of Monterey (F. Jensen); Jeffery Nohr (Agent); Planning File No. PLN230035

## DRAFT RESOLUTION

### Before the Monterey County Airport Land Use Commission, State of California

#### **Resolution No. 23-**

Finding the proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements consistent with the 1982 Airport Land Use Plan (ALUP) for Salinas Municipal Airport.

PLN230035, 1981, 1983, and 1985 Alisal Road, Salinas (Assessor's Parcel Number 153-011-064-000)

**WHEREAS**, on October 10, 2023, the County of Monterey submitted an application (Planning File No. PLN230035) to ALUC staff requesting a consistency determination of a proposed agricultural employee housing project located at 1981, 1983, and 1985 Alisal Road, Salinas (Assessor's Parcel Number 153-011-064-000); and

**WHEREAS**, the ALUC is responsible for the review of local land use regulations affecting land uses within the Airport Influence Area for Salinas Municipal Airport, as identified in the Salinas Municipal Airport Land Use Plan (ALUP), incorporated herein by reference, for consistency with the ALUP; and

**WHEREAS**, proposed project includes construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements including a laundry facility, a recreation room, open space and informal sports fields; and

**WHEREAS**, the subject parcel is located approximately 3,500 feet northeast of the Salinas Municipal Airport and is currently used for agricultural row-crop production, agricultural employee housing (16 apartment units, six single-family homes, and one common laundry room), and agricultural support space (e.g., shops, yards, office, etc.); and

**WHEREAS**, the ALUP does not establish safety zones for the Salinas Municipal Airport, only the Airport's Area of Influence, Building Restriction Zone, and Imagery Surfaces/Transitional Zones; and

**WHEREAS**, based on Diagrams A and B of the ALUP, the subject property is located outside of the Building Restriction Zone and the proposed development (29.5-foot ridge height) will not encroach into the Transitional Zone; and

**WHEREAS**, based on Diagram E and D of the ALUP, although the subject property is not located within an area subject to higher noise levels (imagery surface of noise exposure), it is partially located within the Local Flight Pattern of Runway 8-26 and thus is subject to similar considerations as those given to imaginary surfaces and may be exposed to additional “noise, vibration and psychological trepidation” (ALUP, page 62). Nevertheless, Diagram D dictates residential uses in this flight pattern are compatible uses and not considered environmentally sensitive land uses; and

**WHEREAS**, based on Map 6 of the ALUP, the subject property is located outside of, but adjacent to, the 55 to 65 Community Noise Equivalent Level (CNEL) Noise Contours. Per Chapter 3.2.1 of the California Department of Aeronautics’ Airport Land Use Handbook, the proposed residential use would be considered a noise-incompatible use if no mitigation measures were incorporated to reduce interior noise levels to a level acceptable under the California Building Code; and

**WHEREAS**, an Acoustical Analysis (County of Monterey Library No. LIB230208) was prepared and determined that the exterior facades of the proposed development may be exposed to CNEL between 56 and 64 decibels (includes existing airport, traffic, and other noise generating sources); and

**WHEREAS**, the California Building Code requires that residential habitable spaces, specifically where the exterior CNEL is 60 dBA or higher, be designed so that the interior noise level attributable to exterior sources does not exceed 45 dBA CNEL when doors and windows are closed. Therefore, as designed, conditioned (ALUC-3), and recommended by the Acoustical Engineer, the project includes typical exterior design and construction best practices, including dual glazing assemblies and composite exterior walls, to maintain interior noise levels of no more than 45 dBA CNEL for the living spaces in all units and comply with the requirements of the ALUP.

**WHEREAS**, according to the 2012 Caltrans prepared Safety Zone Map for the Salinas Municipal Airport, the subject property is located within Safety Zone 6 (Traffic Pattern Zone), which prohibits hazards to flight and very high intensity uses such as sports stadiums, but allows for residential uses; and

**WHEREAS**, as designed and conditioned (ALUC-6 and ALUC-9) , the proposed development is a compatible residential use and will not create a hazard to flight as the proposed use will not introduce electrical interference, high-intensity lighting, bird attraction, or glare, and therefore is consistent with limitations established by the Caltrans ALUH for Safety Zone 6; and

**WHEREAS**, as requested by the Salinas Municipal Airport Manager, the project has been conditioned to require 1) granting of an Avigation Easement to the Salinas Municipal Airport (ALUC-1), 2) compliance with interior noise standards of the California Building Code (ALUC-3), and 3) receipt of a No Hazard Determination from the FAA (ALUC-9); and

**WHEREAS**, on October 23, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed agriculture employee housing project located at 1981, 1983, and 1985 Alisal Road, Salinas.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements consistent with the 1982 Airport Land Use Plan for Salinas Municipal Airport, subject to four conditions of approval.

**PASSED AND ADOPTED** on this 23rd day of October 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_ by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST

Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
October 23, 2023



**ALUC STANDARD CONDITIONS**

The following standard conditions may be applied to an application being considered before the ALUC. If the box next to the condition is marked, that indicates that the condition is to be applied to the project as part of the ALUC recommendation.

**PROJECT NAME BENGARD FAMILY PARTNERSHIP ET AL**  
**PROJECT NO. PLN230035**

<input checked="" type="checkbox"/>	<p><b>ALUC-1</b></p>	<p><b>AVIGATION AND HAZARD EASEMENT</b> Prior to the issuance of a construction permit, the developer/owner shall grant an avigation and hazard easement to the appropriate airport authority. The easement shall be recorded at the Monterey County Recorder’s Office. The easement may include:</p> <ul style="list-style-type: none"> <li>• Right-of-flight at any altitude above the acquired easement surfaces.</li> <li>• Right to cause noise, vibrations, fumes, dust and fuel particle emissions.</li> <li>• Right to prevent construction or growth of all structures, objects or natural growth above the acquired easement surfaces.</li> <li>• Right-of-entry to remove, mark or light any structures or growth above the acquired easement surfaces, or right to require the owner to remove, mark or light.</li> <li>• Right to prohibit creation of electrical interference, unusual light sources and other hazards to aircraft flight.</li> <li>• Any other limitation that the ALUC may recommend to protect the public’s health, safety and welfare.</li> </ul>
<input type="checkbox"/>	<p><b>ALUC-2</b></p>	<p><b>NOISE INSULATION STANDARDS</b> The project shall conform to current noise insulation standards pursuant to the California Administrative Code, Title 25, Chapter 1, Subchapter 1.</p>
<input checked="" type="checkbox"/>	<p><b>ALUC-3</b></p>	<p><b>NOISE STANDARDS</b> The project shall conform to noise standards pursuant to the California Building Code (California Code of Regulations, Title 24).</p>
<input type="checkbox"/>	<p><b>ALUC-4</b></p>	<p><b>AIRPORT APPROACH ZONING</b> The project shall conform with Title 20 and Title 21 of the Monterey County Code (Zoning Ordinances), Chapter 20.92 and Chapter 21.86, Airport Approaches Zoning, and/or applicable zoning code relevant to airport hazards and operations.</p>
<input type="checkbox"/>	<p><b>ALUC-5</b></p>	<p><b>OBJECTS AFFECTING NAVIGABLE AIRSPACE</b></p>

		The project shall conform to FAR, Part 77 – Objects Affecting Navigable Airspace.
<input checked="" type="checkbox"/>	<b>ALUC-6</b>	<b>EXTERIOR LIGHTING</b> Prior to the issuance of a construction permit, an Exterior Lighting Plan shall be reviewed and approved by the applicable airport manager prior to the issuance of any construction permits. All exterior lighting and sources of glare shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled.
<input type="checkbox"/>	<b>ALUC-7</b>	<b>TOWERS - MARKING AND LIGHTING</b> When not specifically required by FAA Advisory Circular 70/7640-IF (Obstruction Marking and Lighting), the following ALUC recommendations shall be applied to towers: <input type="checkbox"/> A flashing red beacon shall be installed at the highest point of the structure. <input type="checkbox"/> A steady burning red obstruction light shall be installed at the highest point of the structure. <input type="checkbox"/> A steady burning red obstruction light shall be installed at the intermediate level of the structure. <input type="checkbox"/> Nine (9) day-glow markers (20" minimum) shall be installed on the top level of guide wires (3 to the wire). <input type="checkbox"/> The applicant shall contact the FAA to publish a NOTAM (Notice to airmen) in Monterey County about the location of the proposed structure. <input type="checkbox"/> Standard marking (orange and white striping) shall be installed, as defined in Chapter 3 of the FAA AC 70/7460-IF.
<input type="checkbox"/>	<b>ALUC-8</b>	<b>NO CONDITION REQUIRED</b> The project, as reviewed by the ALUC, is consistent with the CLUP for that jurisdiction and does not require any conditions.
<input checked="" type="checkbox"/>	<b>ALUC-9</b>	<b>NON-STANDARD CONDITION</b> (See below)

**PROJECT REVIEWED BY ALUC ON: 10/23/2023**

**ALUC-9:** Prior to the issuance of building permits, the applicant/owners shall submit for review and approval to HCD-Planning and the Salinas Airport evidence demonstrating the submittal of Form 7460-1 (Notice of Proposed Construction or Alteration) to the FAA and receipt of a Determination of No Hazard/No Impact response from the FAA.

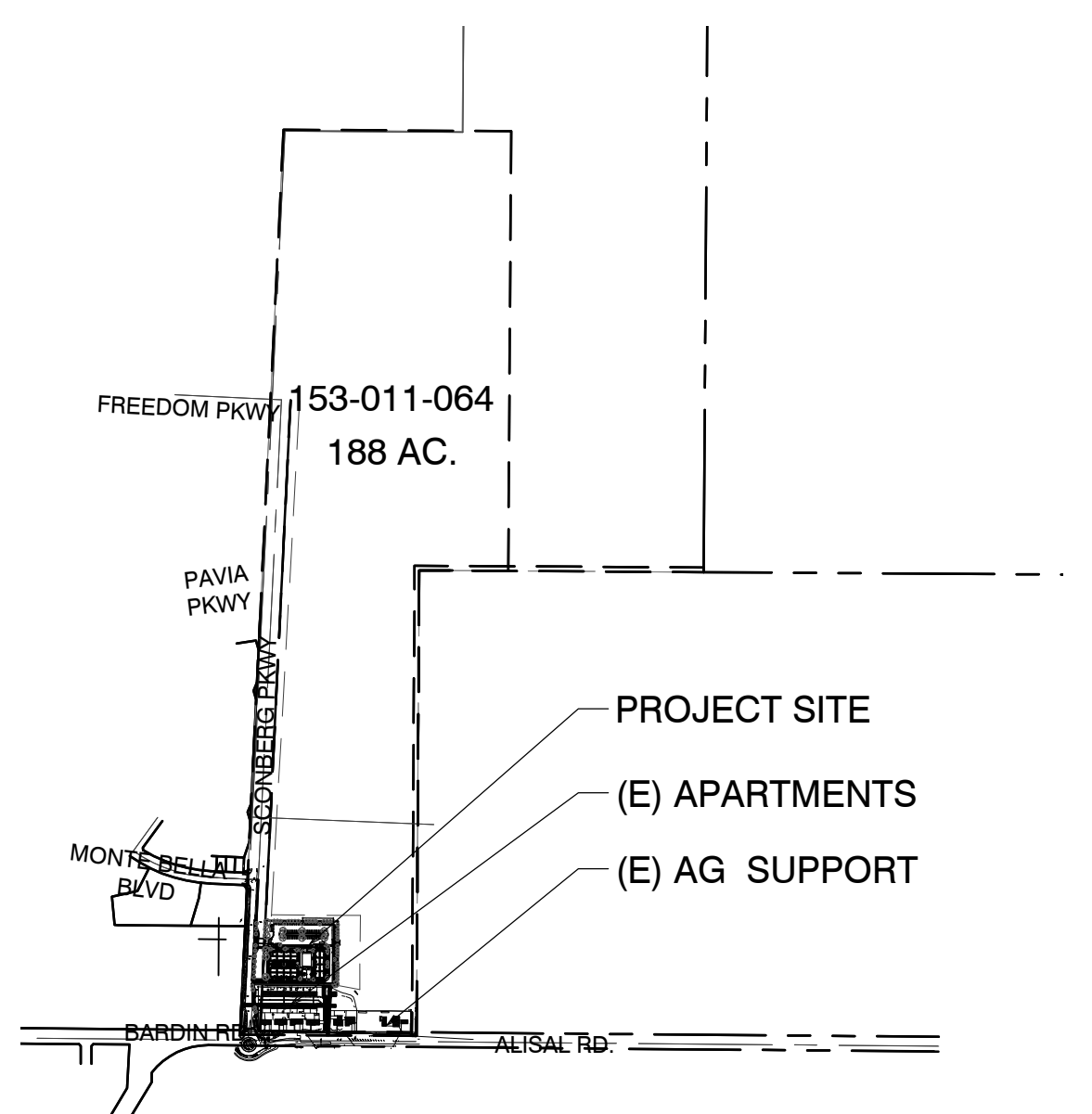
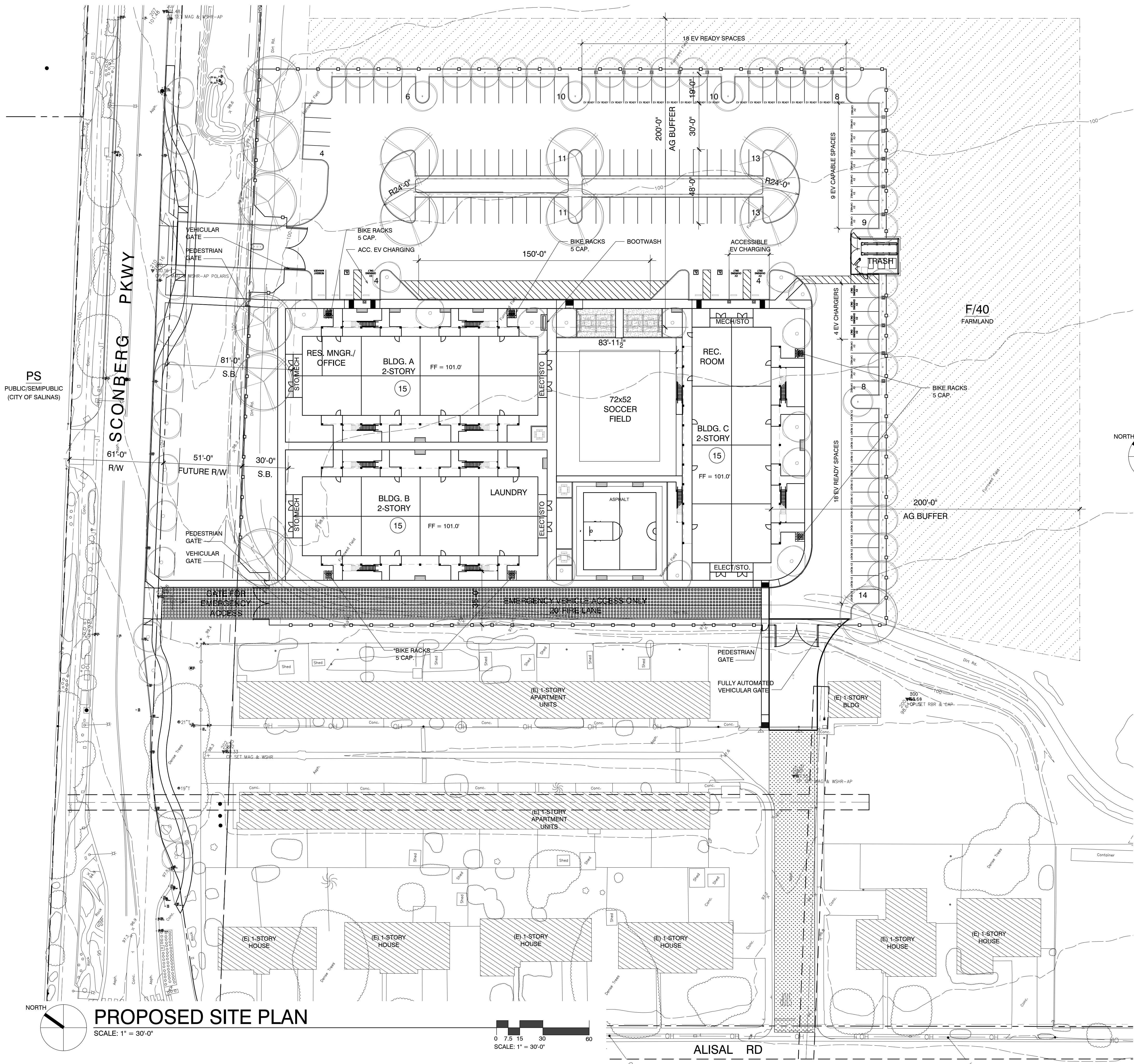
# Gabilan Agricultural Employee Housing

SCONBERG PKWY  
SALINAS, CA 93905

APN.: 153-011-064-000

## THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
288 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



**OVERALL SITE**  
NOT TO SCALE

PROPOSED BUILDING TYPES AND UNIT BREAKDOWN						
BLDG	STORIES	1 BR UNITS	2 BR UNITS	1ST FLR. AREA (SF)	2ND FLR. AREA (SF)	TOTAL AREA (SF)
A	2-STORIES	1	15	8,143 SF	8,143 SF	16,286 SF
B	2-STORIES		15	8,143 SF	8,143 SF	16,286 SF
C	2-STORIES		15	8,143 SF	8,143 SF	16,286 SF
<b>TOTAL</b>		<b>1</b>	<b>45</b>	<b>24,429 SF</b>	<b>24,429 SF</b>	<b>48,858 SF</b>

THESE AREAS DO NOT INCLUDE STAIRS AND DECK

**PROPOSED PARKING:**  
 45 UNITS (1 UNIT or 1 per 4 beds) 360 beds/4 90 P.S. REQUIRED  
 1 RES. MGR. UNIT 1 UNIT 1 P.S. REQUIRED  
**TOTAL REQUIRED 91**  
**TOTAL PROVIDED 125 INC. 3 ACCESSIBLE SPACES (2% OF ASSIGNED PARKING PROVIDED)**  
 1 BIKE RACK / 10 PARKING SPACES = 125 / 10 - 13 REQUIRED / 30 PROVIDED

EV PARKING PER CALGREEN 4.106.4.2.2			
EV CAPABLE 10% REQ'D.	EV READY 25% REQ'D.	EV CHARGERS 5% REQ'D.	PARKING 125
13	32	7	

ACCESSIBLE EV REQUIRED (1 / PER 25 EV CHARGING SPACE) = 3 ACC. SPACES

FLOOR AREA RATIO	TOTAL S.F.
BUILDING AREA	48,858
(E) RESIDENTIAL & AG SUPPORT BLDGS	34,841
	83,699 ± (1% OF PARCEL)

LOT COVERAGE (5% ALLOWED)	TOTAL S.F.
BUILDING FOOTPRINT INC. PORCH BELOW DECK, TRELLIS, & COVERED TRASH ENCLOSURE	30,214
(E) STRUCTURES	34,841
	65,055 SF ± (0.8% OF PARCEL)

Drawn By: AC  
 Drawing Date: 7.19.2023  
 Project Number: 2208

Revisions:

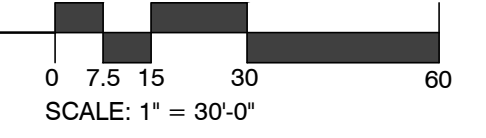
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### Sheet Title: PROPOSED SITE PLAN

Sheet Number:

## PROPOSED SITE PLAN

SCALE: 1" = 30'-0"





# Gabilan Agricultural Employee Housing

SCONBERG PKWY  
SALINAS, CA 93905

APN: 153-011-064-000

## GENERAL NOTES

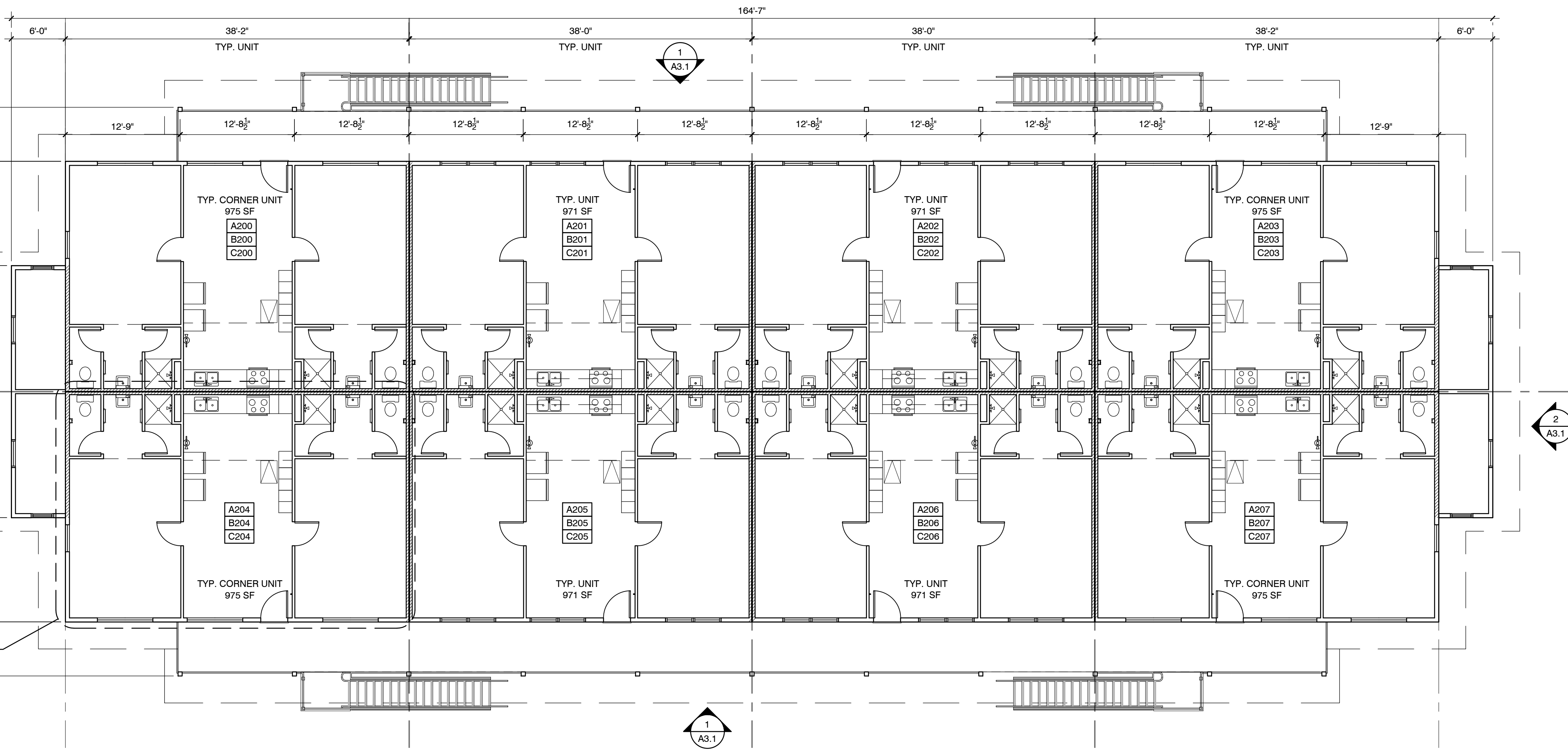
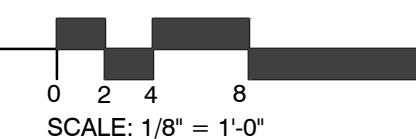
1. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.
2. ATTIC ACCESS A MIN. OF 22"x30" OR AT LEAST AS LARGE AS EQUIPMENT SERVED AND NOT OVER 20' FROM THE EQUIPMENT IF LESS THAN 6'-0" FOR THE HEIGHT OF THE PASSAGE WAY.
  - a. UNOBSTRUCTED PASSAGEWAY 24" WIDE X 30" HIGH W/ SOLID CONTINUOUS FLOORING FROM THE ACCESS TO THE EQUIPMENT / CONTROL PANEL. THE PASSAGEWAY SHALL BE AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE.
  - b. A LEVEL WORKING PLATFORM NOT LESS THAN 30" SQUARE AND 30" HIGH IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE.
3. FIRE BLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH CBC 2016, SECT. 718 IN THE FOLLOWING LOCATIONS: ALSO SEE SHEET A9.1 FOR DETAILS.
  - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - a.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS. CBC 2016, SECT 718.2.2
    - a.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 2016, SECT 718.2.2
  - b. AT INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. CBC 2016, SECT. 718.2.3
  - c. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS. CBC 2016, SECT. 718.2.5

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EMAIL: info@pauldavispartnership.com

## LEGEND

- 1 HR RATED PARTY WALL
- NON-RATED WALL
- BUILDING LETTER
- UNIT NUMBER



### 2 OVERALL SECOND FLOOR PLAN - TYPICAL ALL BLDGS

SCALE: 1/8" = 1'-0"

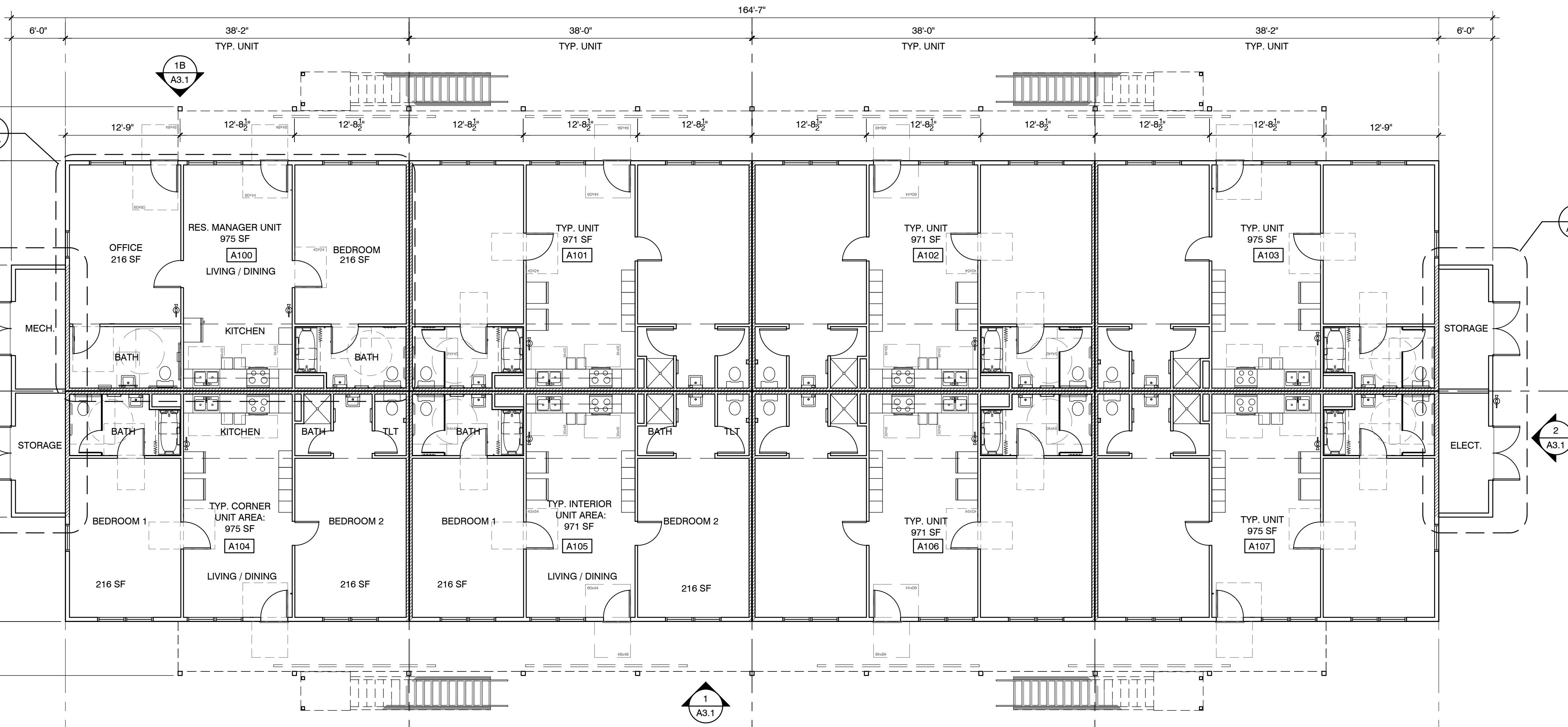
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Drawing Date: 7.19.2023  
Project Number: 2208

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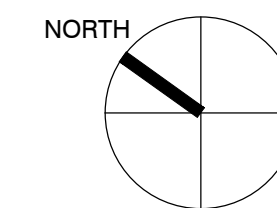
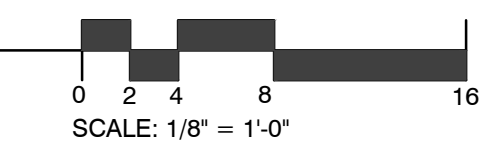
## Sheet Title: OVERALL FLOOR PLANS

Sheet Number:



### 1A OVERALL FIRST FLOOR PLAN w/ RES. MNGR & OFFICE - BLDG. A

SCALE: 1/8" = 1'-0"



Z:\Projects\Projects\_2022\2208\_Perezini\_Ag\_Housing\Planning\A2.dwg, 7/19/2023, 8:46:40 AM, achua

# Gabilan Agricultural Employee Housing

SCONBERG PKWY  
SALINAS, CA 93905

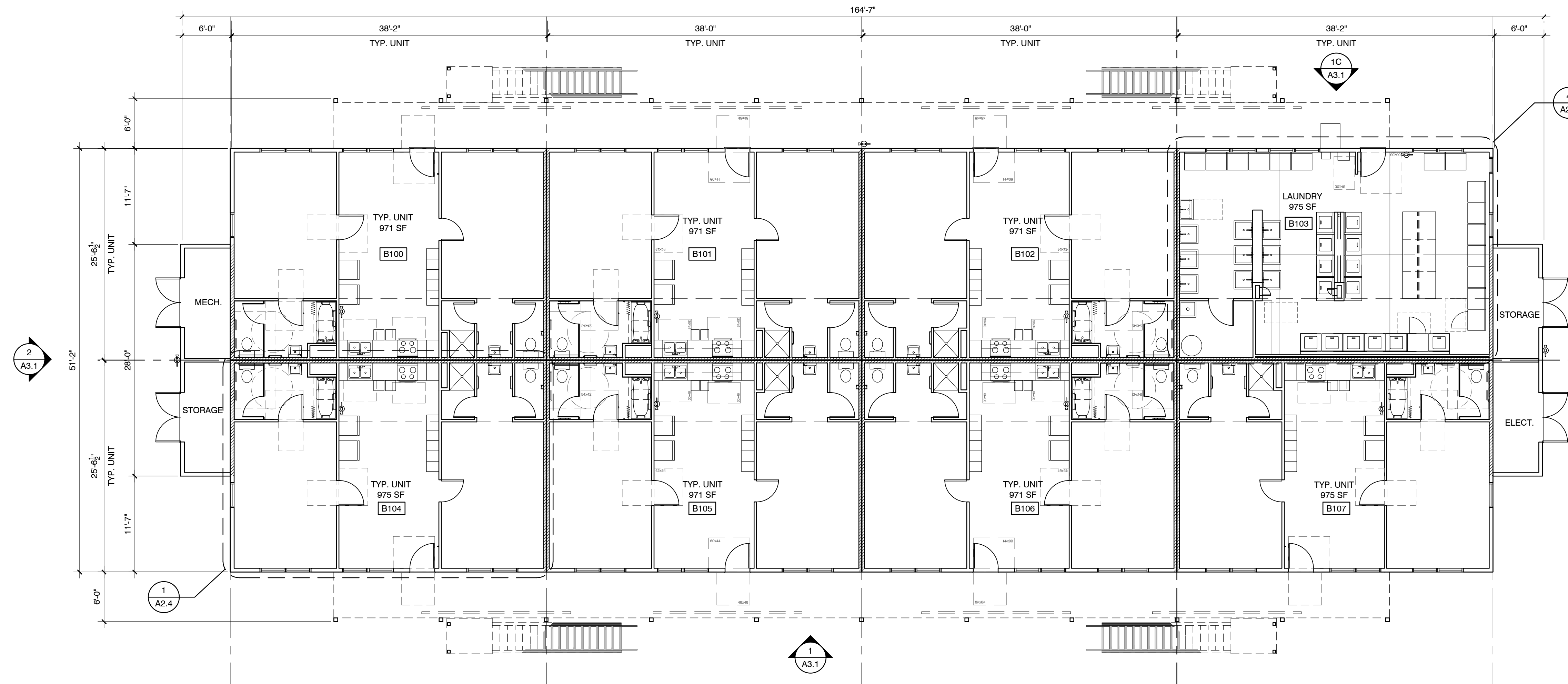
APN: 153-011-064-000

## GENERAL NOTES

1. SEE SHEET A1.1 SITE PLAN FOR BUILDING ORIENTATION AND EXACT LOCATION OF MECHANICAL AND ELECTRICAL ROOMS.
2. FOR TYPICAL SECOND FLOOR PLAN - SEE SHEET A2.1.
3. FIRE BLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH CBC 2016, SECT. 718 IN THE FOLLOWING LOCATIONS: ALSO SEE SHEET A9.1 FOR DETAILS
  - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
    - a.1 VERTICALLY AT THE CEILING AND FLOOR LEVELS. CBC 2016, SECT 718.2.2
    - a.2 HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CBC 2016, SECT 718.2.2
  - b. AT INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. CBC 2016, SECT. 718.2.3
  - c. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E136 REQUIREMENTS. CBC 2016, SECT. 718.2.5.

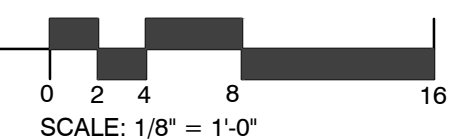
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### 1B OVERALL FIRST FLOOR PLAN - BLDG. B w/ LAUNDRY

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

## LEGEND

- 1 HR RATED PARTY WALL
- NON-RATED WALL
- BUILDING LETTER
- UNIT NUMBER

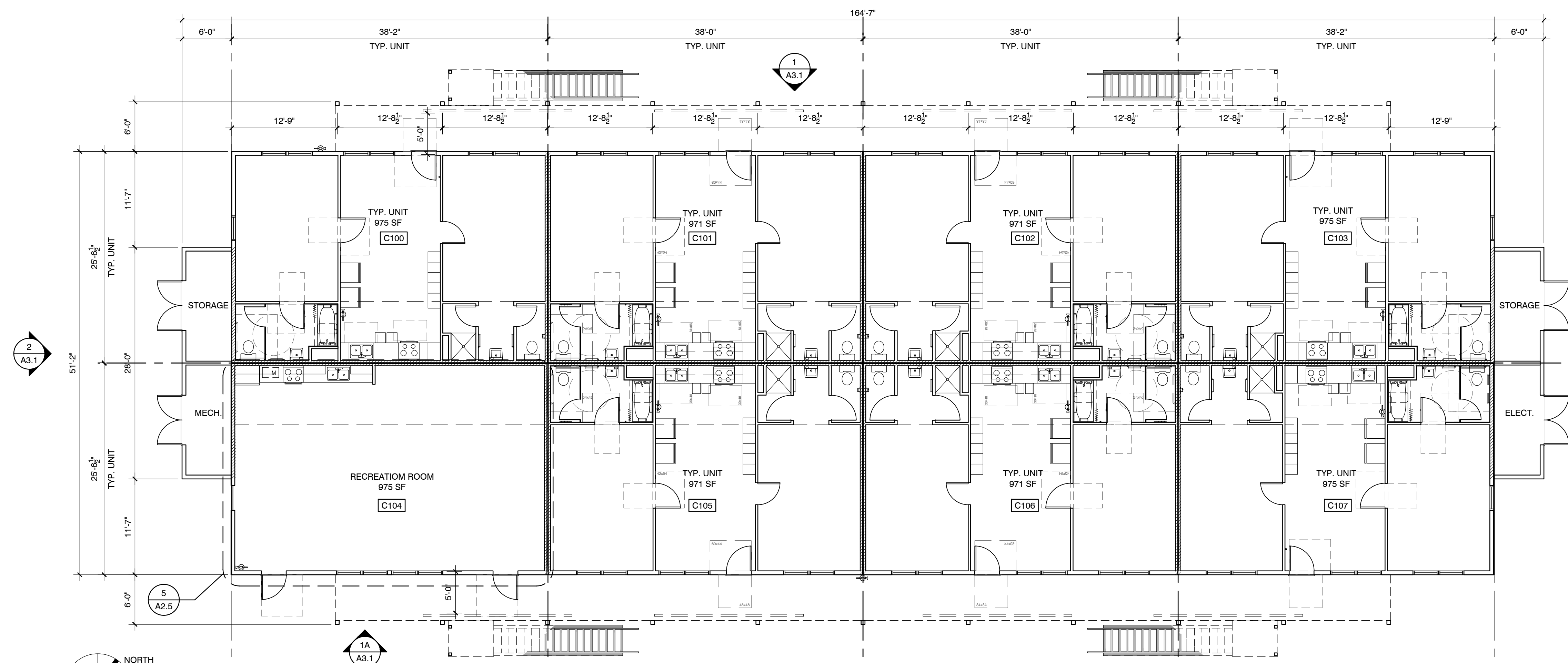
Drawn By: AC  
Drawing Date: 7.19.2023  
Project Number: 2208

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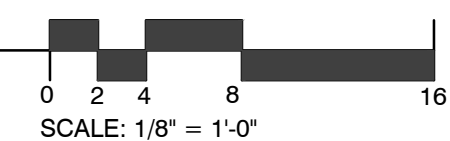
Sheet Title:  
**OVERALL FIRST FLOOR PLANS**

Sheet Number:



### 1C OVERALL FIRST FLOOR PLAN w/ REC. ROOM - BLDG. C

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

# A2.2

**GENERAL NOTES**

- REFER TO EACH OVERALL BLDG FLOOR PLAN FOR UNIT DESIGNATION AND CORNER UNIT WINDOW LOCATION

Project / Owner:

**Gabilan  
Agricultural  
Employee Housing**

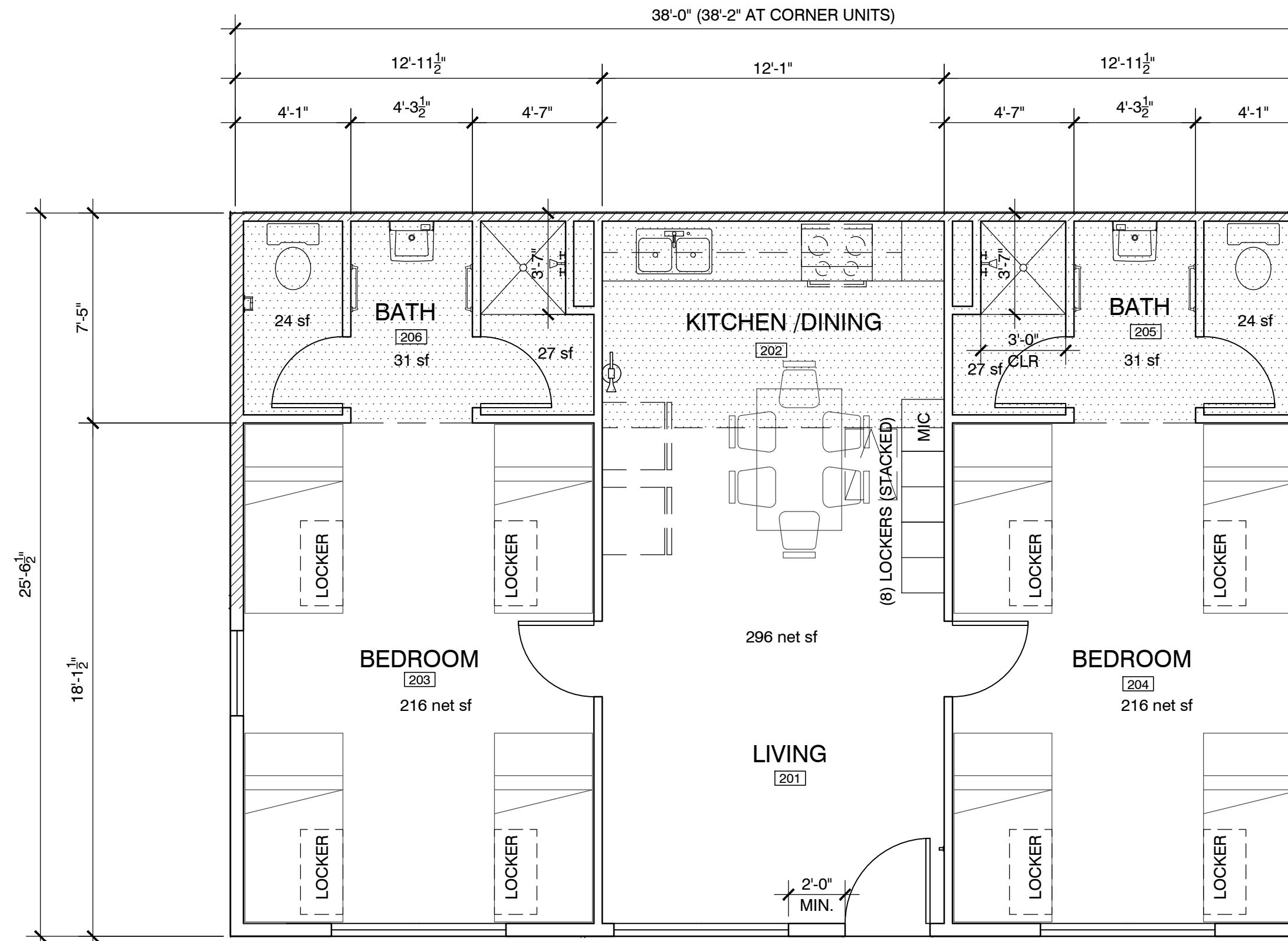
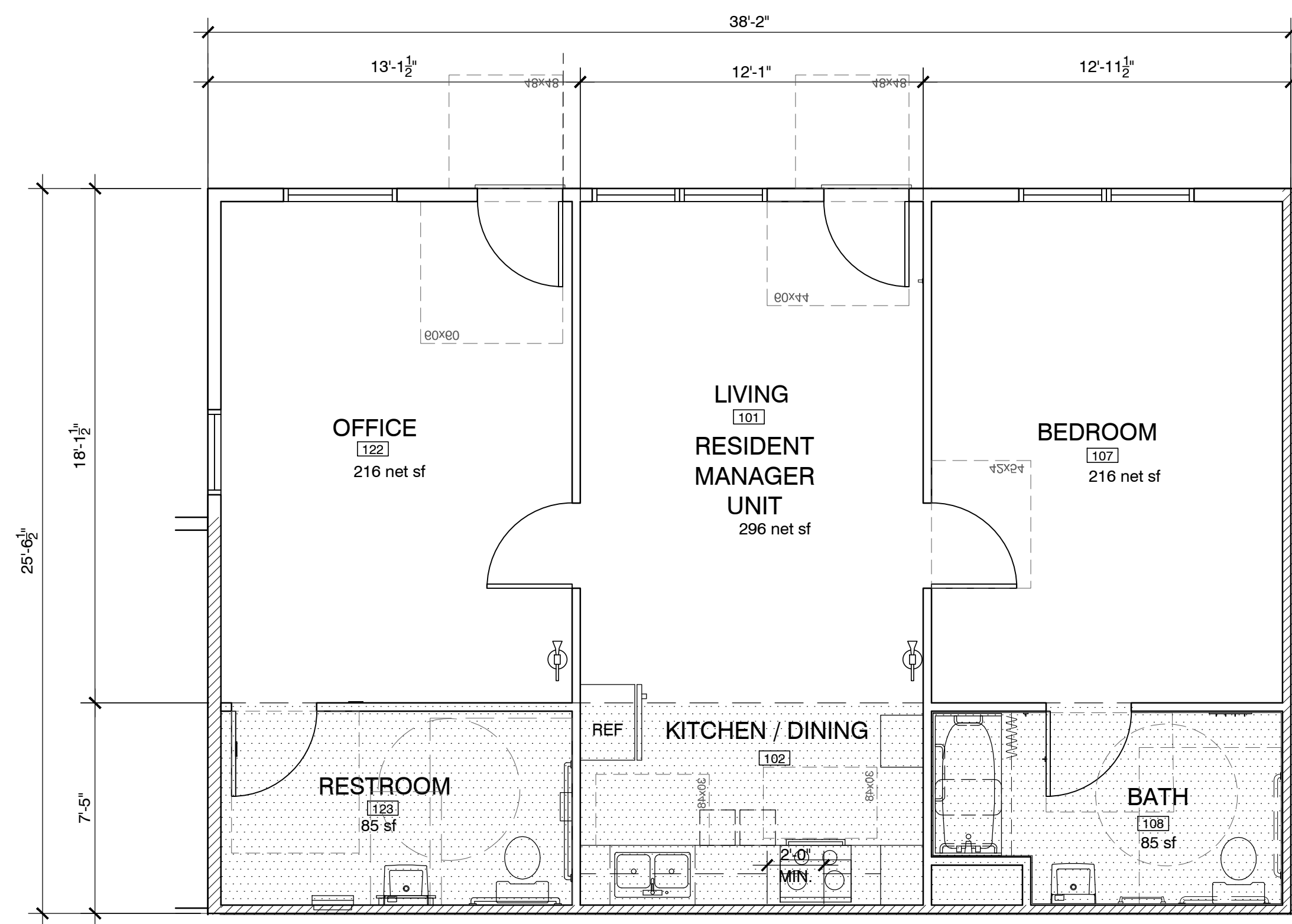
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SALINAS, CA 93905

APN.: 153-011-064-000

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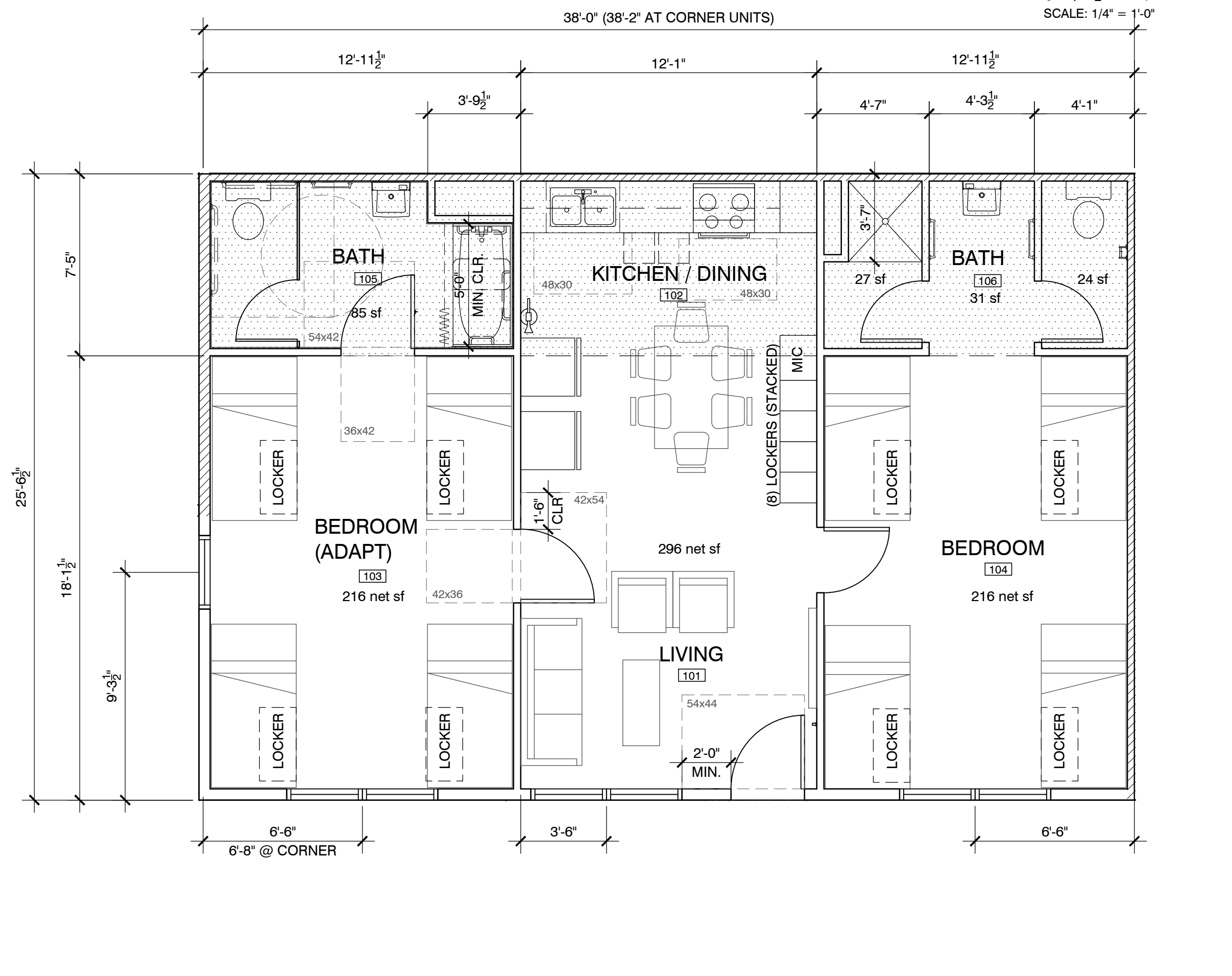
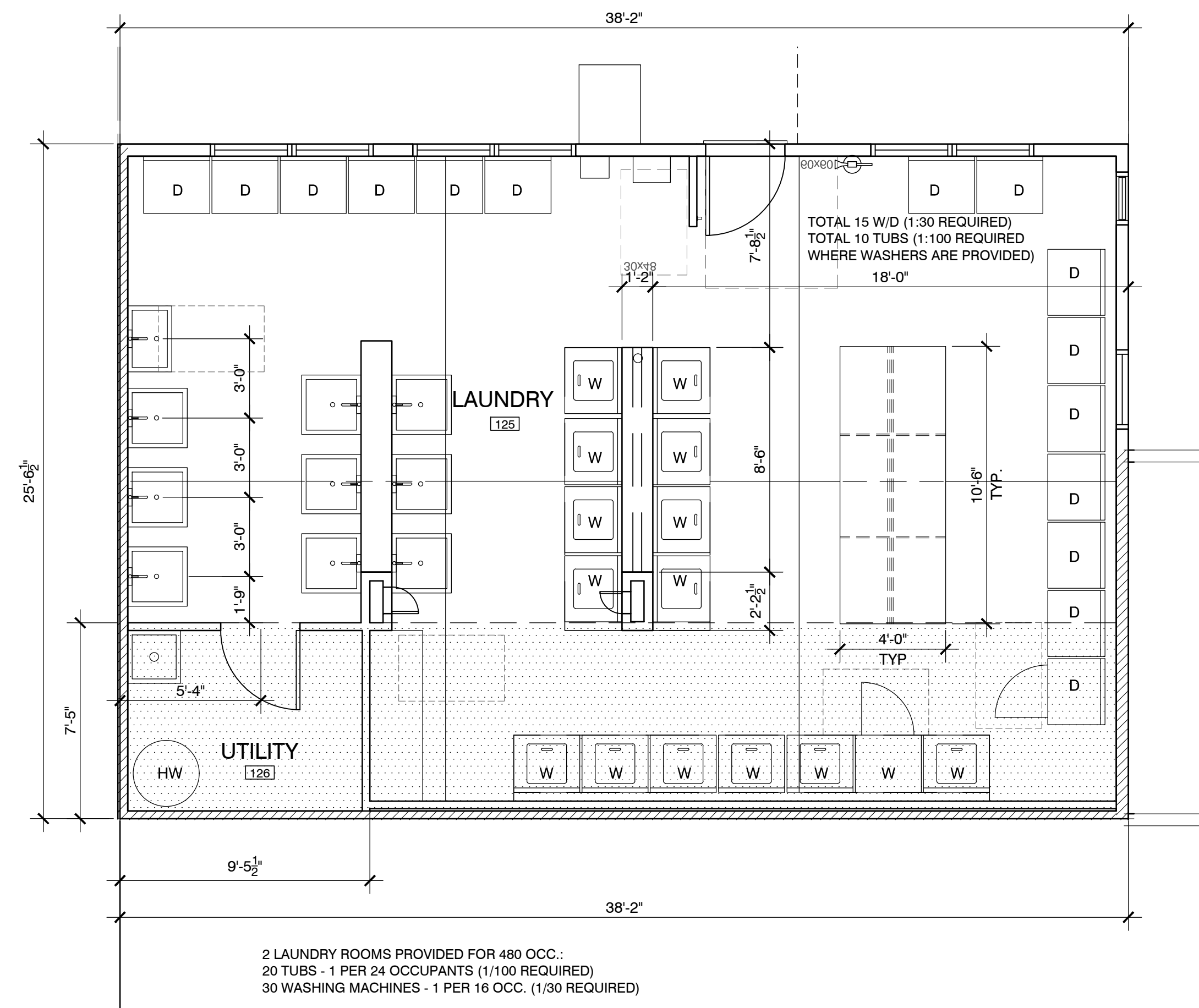


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**3** **A100**  
**OFFICE/RES. MANAGER UNIT** (975 SF CORNER UNIT)  
SCALE: 1/4" = 1'-0"

**2** **TYPICAL SECOND FLOOR UNIT PLAN** (975 SF CORNER UNIT / 971 SF INTERIOR UNIT)  
SCALE: 1/4" = 1'-0"



**4** **B103**  
**TYP. LAUNDRY ROOM** (975 SF CORNER UNIT)  
SCALE: 1/4" = 1'-0"

**1** **TYPICAL FIRST FLOOR UNIT PLAN** (975 SF CORNER UNIT / 971 SF INTERIOR UNIT)  
SCALE: 1/4" = 1'-0"

**LEGEND**

- 1 HR. RATED PARTY WALL  
PENETRATIONS OF FIRE-RESISTANCE RATED WALL OR CEILING ASSEMBLIES SHALL BE IN ACCORDANCE WITH CBC 2016, SECT 714
- NON-RATED WALL

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Drawing Date: 7.19.2023  
Project Number: 2208

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Sheet Title:  
**ENLARGED PLANS**

Sheet Number:

**GENERAL NOTES**

1. REFER TO EACH OVERALL BLDG FLOOR PLAN FOR UNIT DESIGNATION AND CORNER UNIT WINDOW LOCATION

Project / Owner:

**Gabilan  
Agricultural  
Employee Housing**

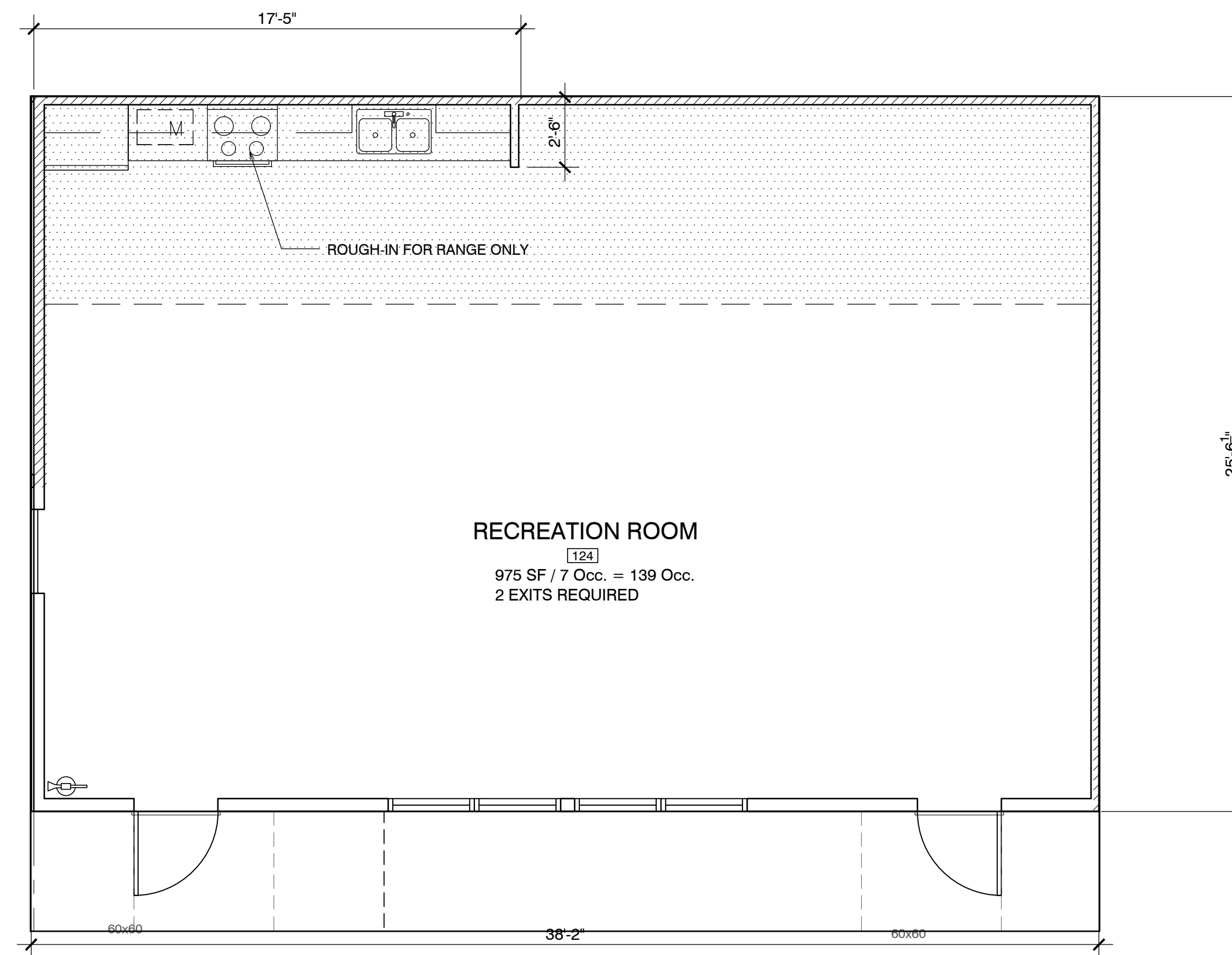
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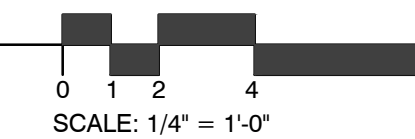
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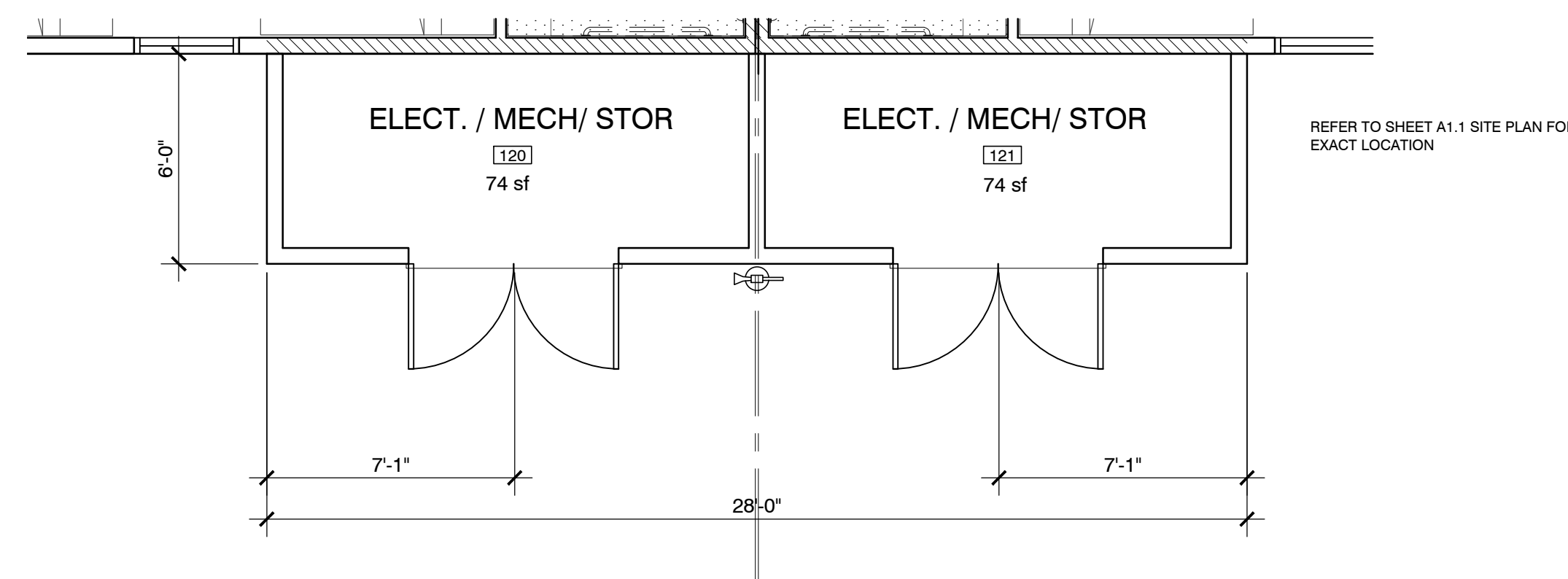


**C104**  
**5 RECREATION ROOM**  
SCALE: 1/4" = 1'-0"

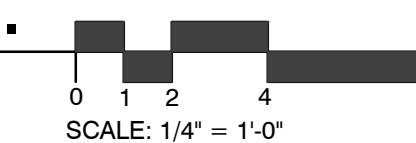


**LEGEND**

- 1 HR. RATED PARTY WALL
- NON-RATED WALL



**6 TYP. ELECT/MECH ROOM - ALL BLDGS.**  
SCALE: 1/4" = 1'-0"



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Drawing Date: 7.19.2023  
Project Number: 2208

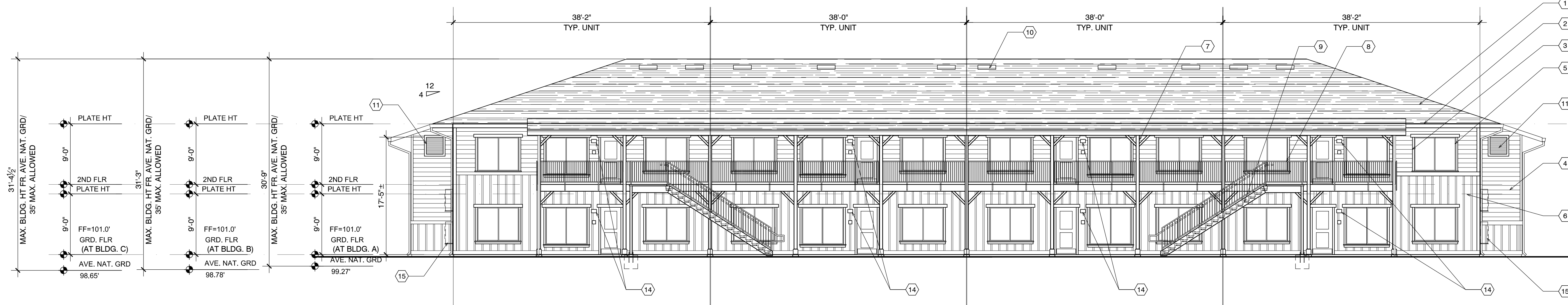
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**ENLARGED PLANS**

Sheet Number:



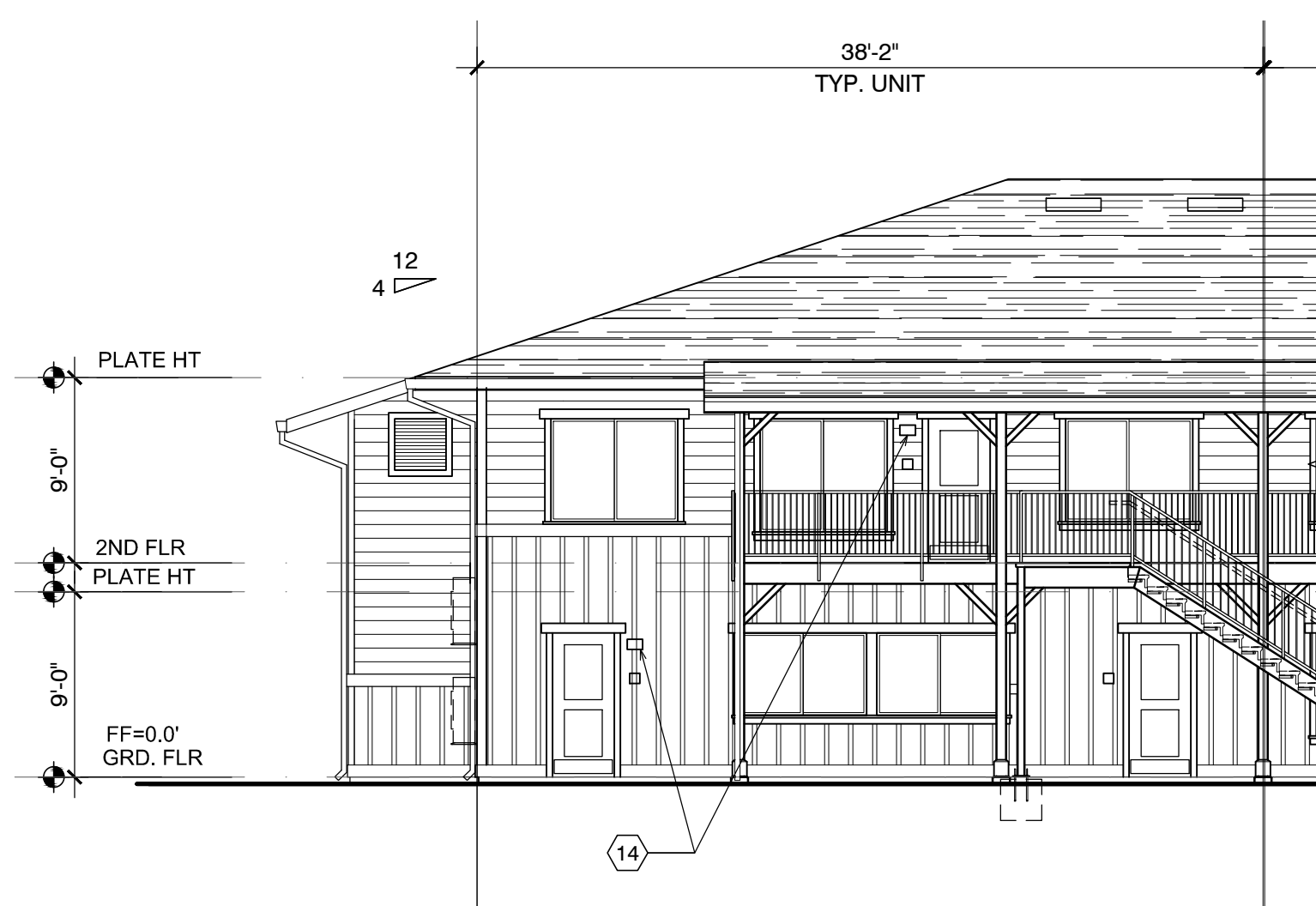


**1** TYPICAL FRONT ELEVATION, U.O.N.

SCALE: 1/8" = 1'-0"

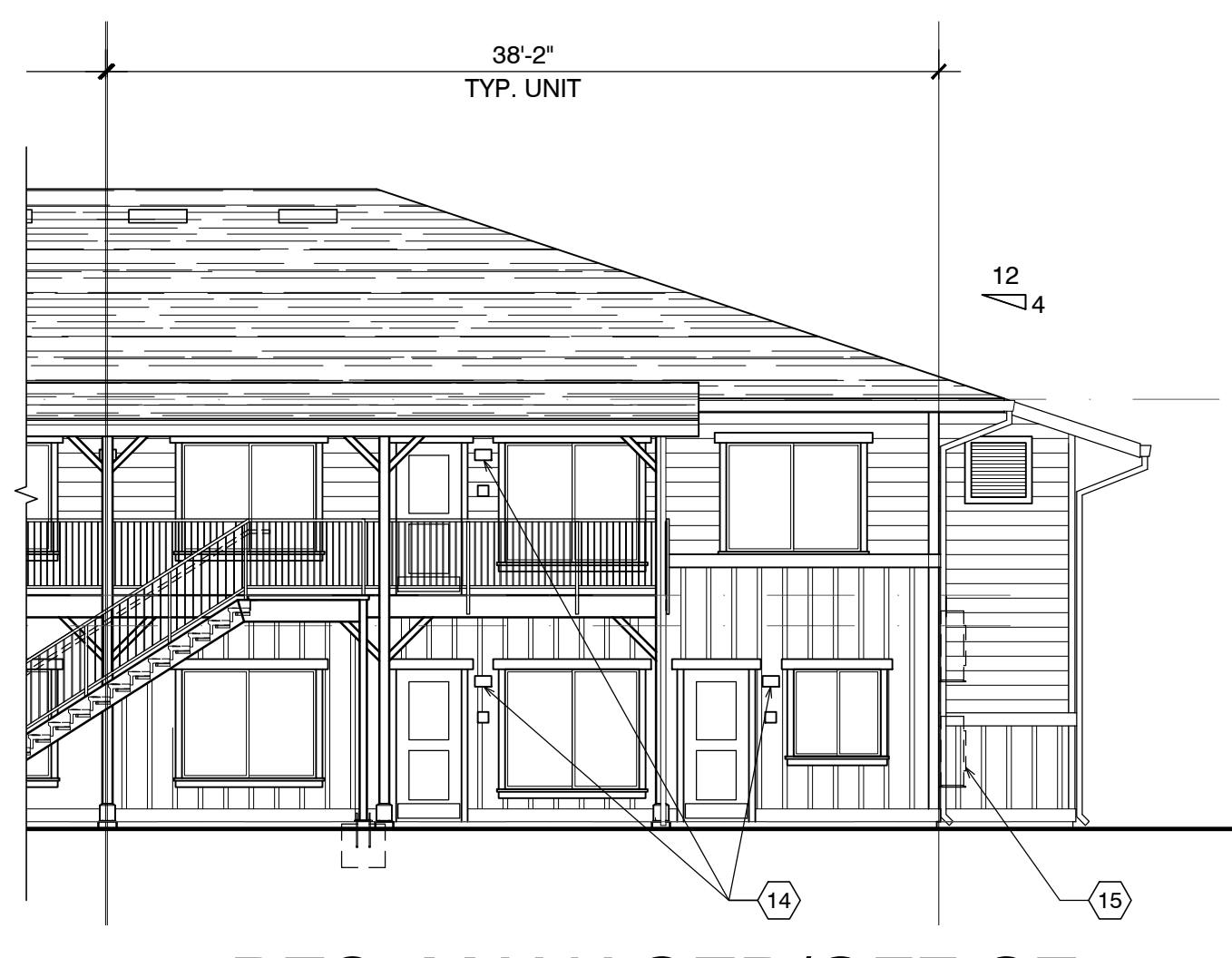
**SHEET NOTES**

- ASPHALT COMPOSITION SHINGLE ROOFING
- PAINTED 2x FASCIA
- PAINTED 2x TRIM
- 6-1/4" CEMENT FIBER BOARD LAP SIDING WOOD GRAIN FINISH
- VINYL WINDOWS
- 1x4 BOARD AND BATT @ 16" O.C. OVER CEMENT FIBER PANEL
- PAINTED WOOD POST/BEAM
- PAINTED METAL RAILING
- PRE-CAST CONCRETE STAIR
- LOW PROFILE ROOF VENTS
- WALL LOUVER
- WINDOWS @ MECH/ELECTRICAL ROOMS FRONTING THE STREET
- DRYER VENTS & CAP
- 9"Wx5-1/2"Tx3"D - DOWN-LIT WALL SCONCES with TOP MOUNTED AT 6'-6" AFF. - REFER TO ELECTRICAL PLANS FOR EXACT LOCATION.
- WALL MOUNTED HEAT PUMP



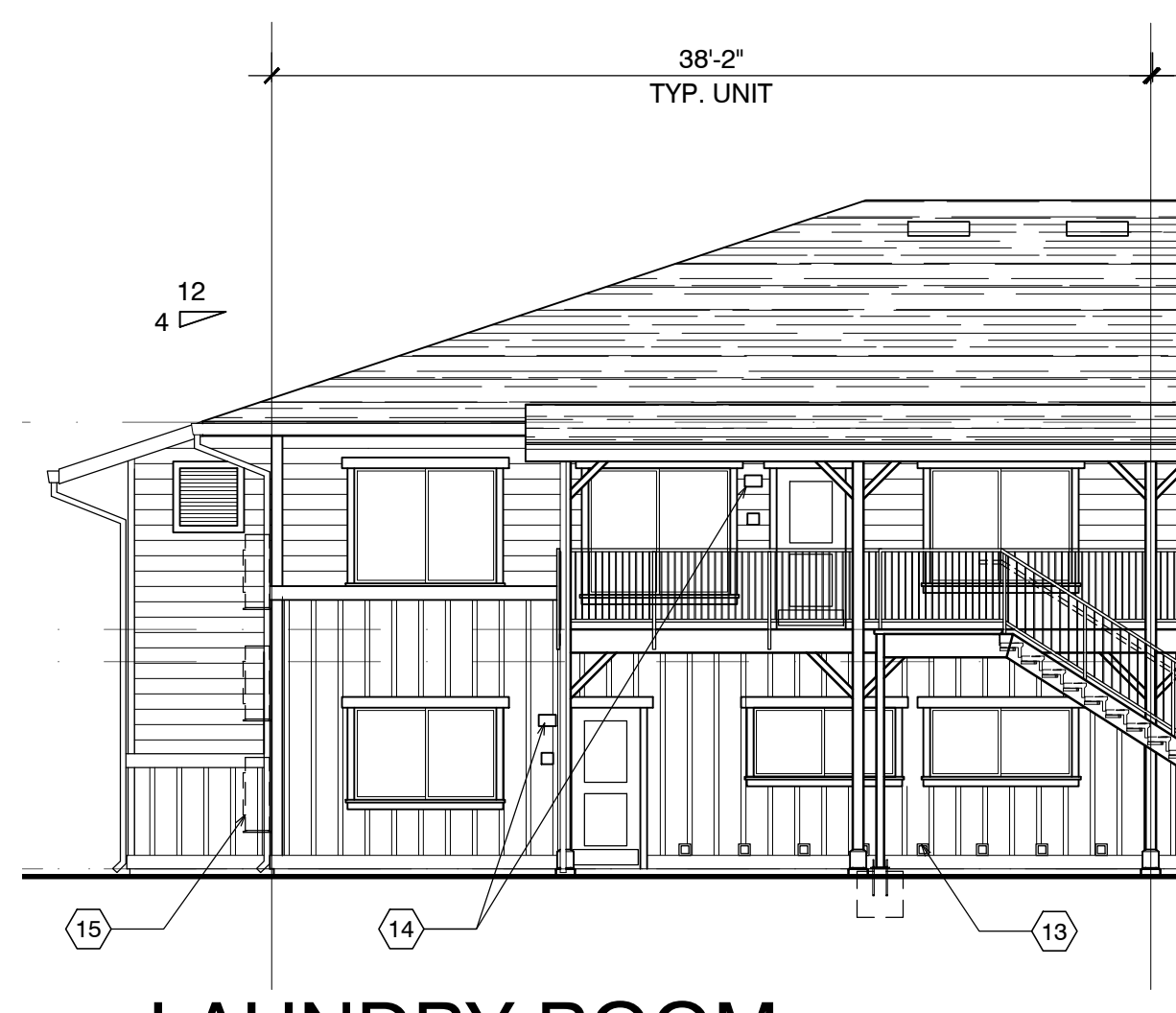
**1A** REC. ROOM @ BLDG. C  
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



**1B** RES. MANAGER/OFFICE  
@ BLDG. A  
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



**1C** LAUNDRY ROOM  
@ BLDG. B  
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

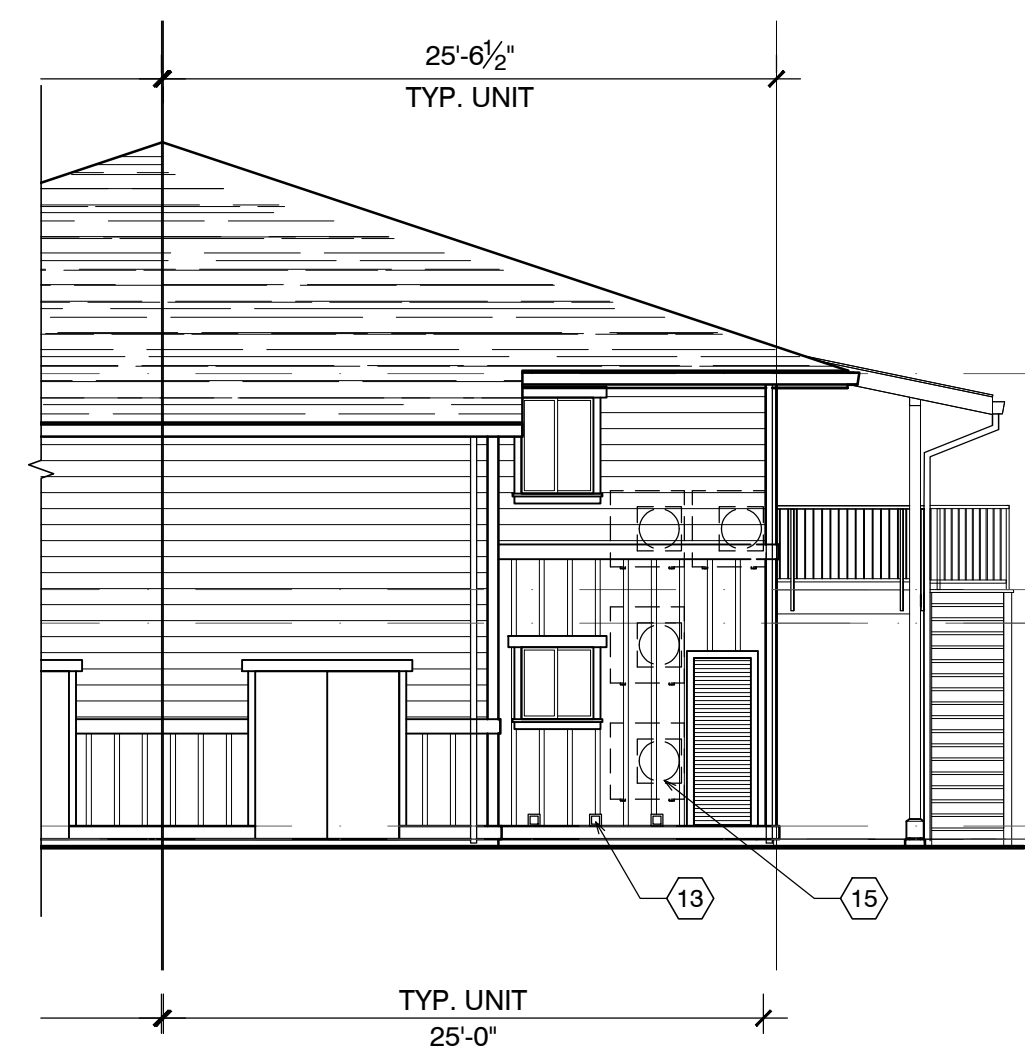
**ROOF:** Class A rated 40 year, High Profile asphalt shingles on Type 15 felt min. per CBC Chapter 15. Packaging for roof materials shall bear manufacturer's and approved testing agency's labels for field inspection. At low sloped roofs, install o/ underlayment section as recommended by roofing manufacturer.

**FLASHING:** 24 GA. Galvanized Sheet Metal, paint all sides prior to installation and a second coat after installation

**WALLS:** General - At a minimum, provide a minimum of one layer of No. 15 asphalt felt, 60 minute rated complying with ASTM D 226 for Type 1 felt or other approved materials, shall be attached to the studs or sheathing, with flashing as described in Section 1405.3, in such a manner as to provide a continuous water-resistive barrier behind the exterior wall veneer/covering. (CBC 1404.2)

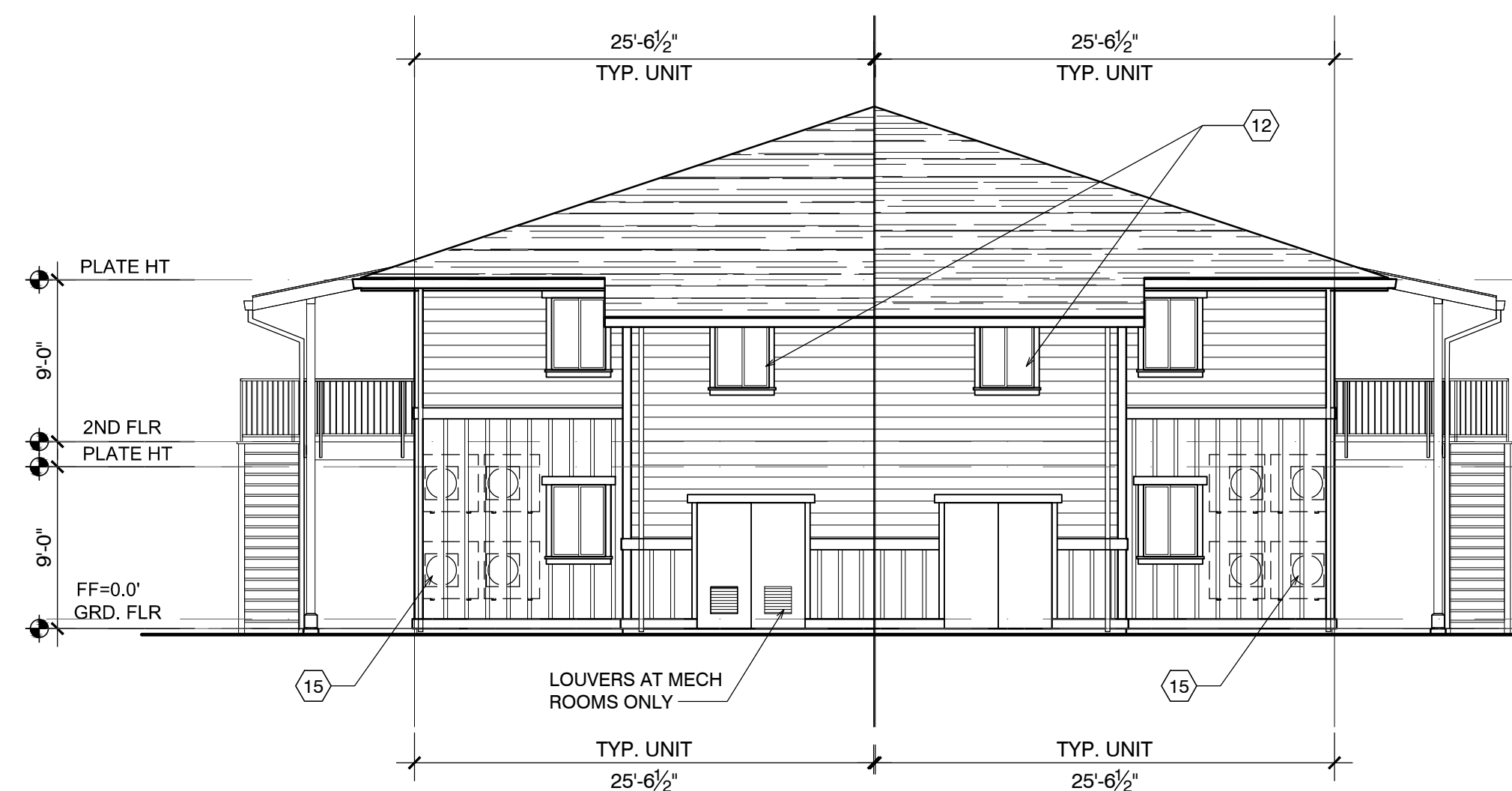
**BOARD SIDING:** Board and Panel siding on Kraft weather-resistive barrier or 60-minute rated building paper. Siding applied horizontally, diagonally, or vertically shall be fastened to studs, nailing strips or blocking set at a maximum 24 inches on center. Fasteners shall be nails or screws with a penetration of not less than 1 1/2 inches into studs, studs and sheathing combined, or blocking. Distance between such fasteners shall not exceed 24 inches for horizontally or vertically applied sidings and 32 inches for diagonally applied sidings unless otherwise requirements by manufacturer are more restrictive.

- NOTES:**
- All exterior wall and surfaces, gutters, downspouts, flashing, trim and exposed concrete foundations shall be painted.
  - Paint all roof jacks, roof caps, dampers and flues to match roof color.
  - Paint all exposed flashing.



**2A** LAUNDRY  
@ BLDG B  
SIDE ELEVATION

SCALE: 1/8" = 1'-0"



**2** TYPICAL SIDE ELEVATION, U.O.N.

SCALE: 1/8" = 1'-0"

**NOTES**

- ALL EXTERIOR LIGHTING SHALL BE UNOBTRUSIVE, DOWN-LIT, HARMONIOUS WITH THE LOCAL AREA, AND CONSTRUCTED OR LOCATED SO THAT ONLY THE INTENDED AREA IS ILLUMINATED AND OFF-SITE GLARE IS FULLY CONTROLLED. EXTERIOR LIGHTING SHALL HAVE RECESSED LIGHTING ELEMENTS.
- EXTERIOR LIGHT SOURCES THAT WOULD BE DIRECTLY VISIBLE FROM WHEN VIEWED FROM A COMMON PUBLIC VIEWING AREA, AS DEFINED IN SECTION 21.06.195, ARE PROHIBITED.
- THE APPLICANT SHALL SUBMIT THREE (3) COPIES OF EXTERIOR LIGHTING PLAN WHICH SHALL INDICATE THE LOCATION, TYPE, AND WATTAGE OF ALL LIGHT FIXTURES AND INCLUDE CATALOG SHEETS FOR EACH FIXTURE.
- THE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SET FORTH IN CALIFORNIA CODE OF REGULATIONS TITLE 24



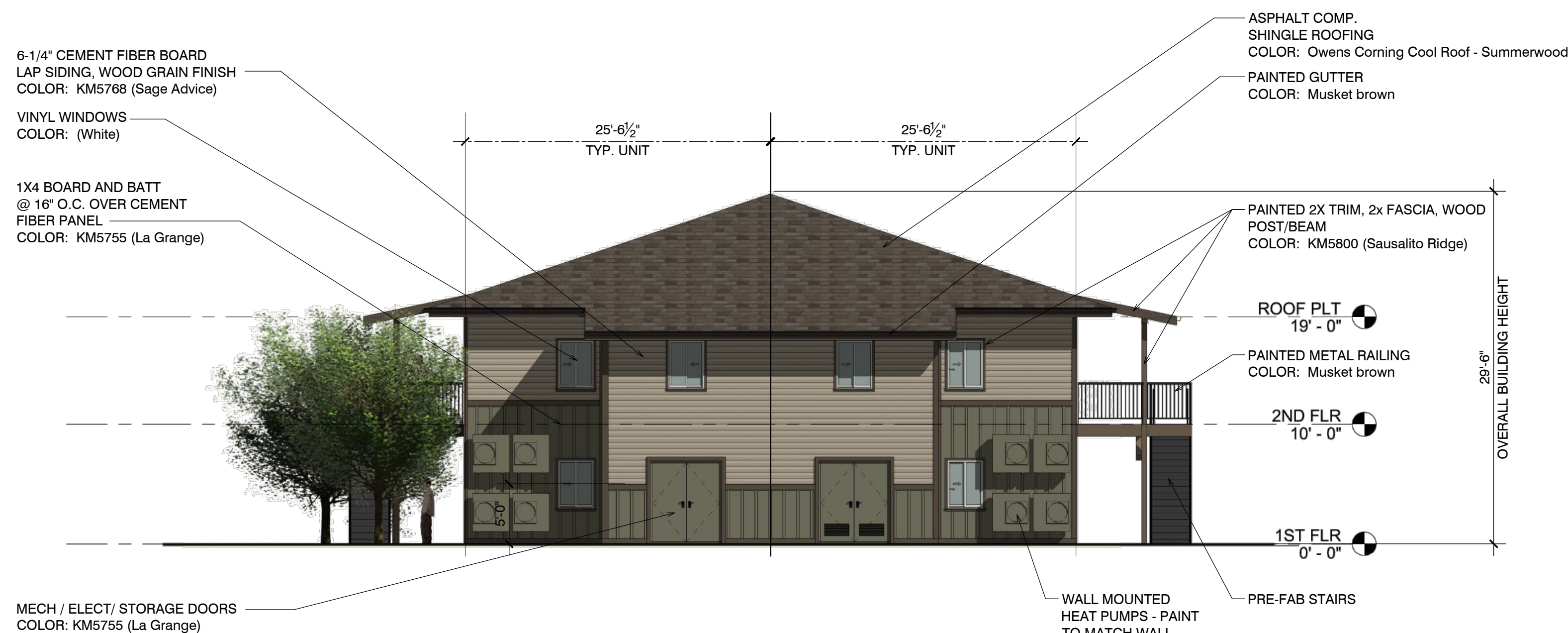
# Gabilan Agricultural Employee Housing

SCONBERG PKWY  
SALINAS, CA 93905

APN.: 153-011-064-000

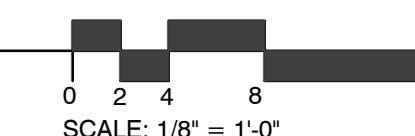
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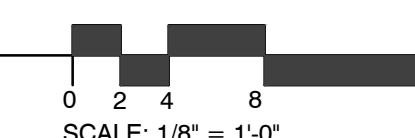
### TYPICAL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



### TYPICAL UNITY ENTRY ELEVATION

SCALE: 1/8" = 1'-0"



Drawn By: AC  
Drawing Date: 7.19.2023  
Project Number: 2208

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### Sheet Title: EXTERIOR ELEVATIONS - COLOR SCHEME A

Sheet Number:



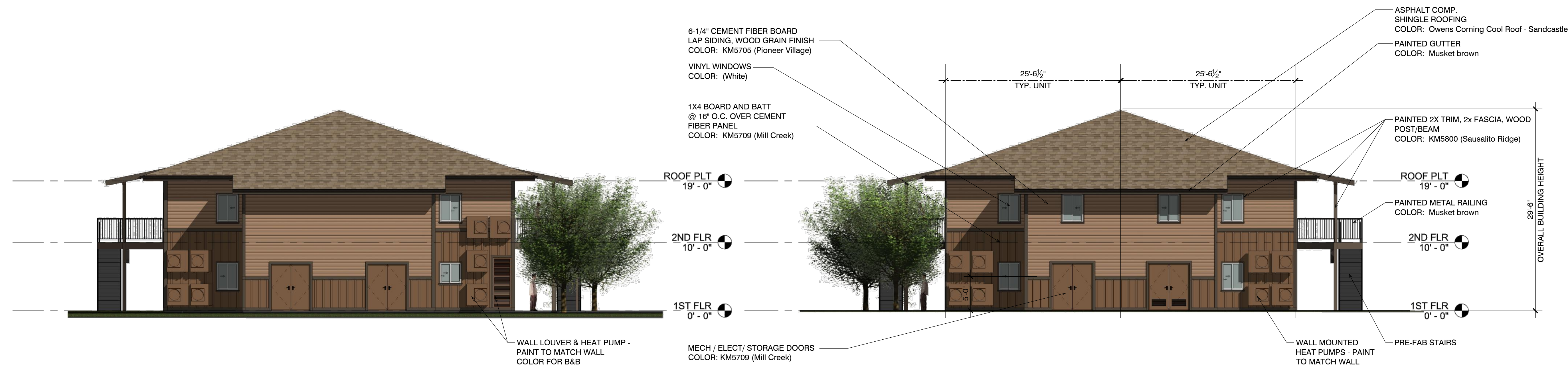
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SALINAS, CA 93905

APN.: 153-011-064-000

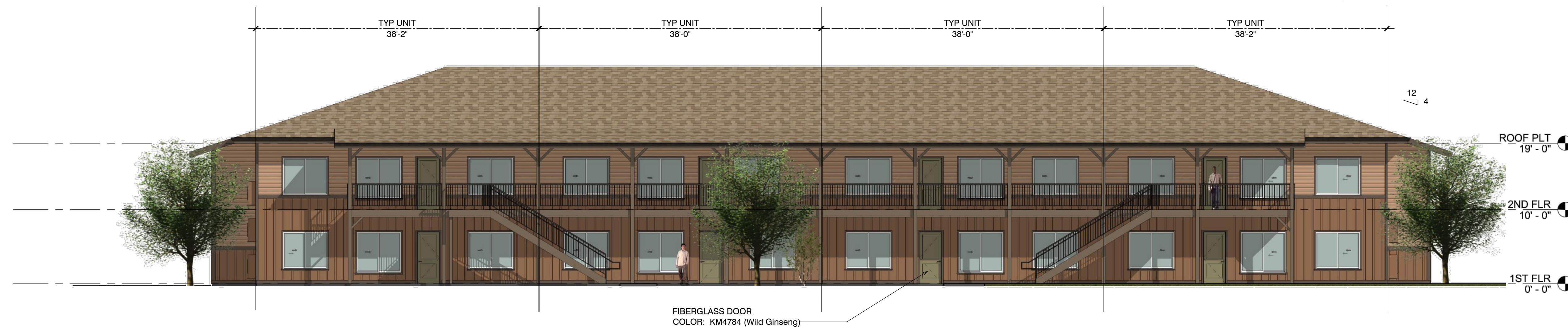
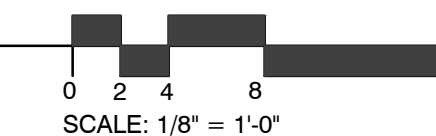
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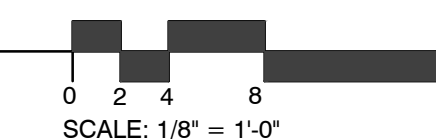
### TYPICAL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



### TYPICAL UNITY ENTRY ELEVATION

SCALE: 1/8" = 1'-0"



Drawn By: AC  
Drawing Date: 7.19.2023  
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### Sheet Title: EXTERIOR ELEVATIONS - COLOR SCHEME B

Sheet Number:



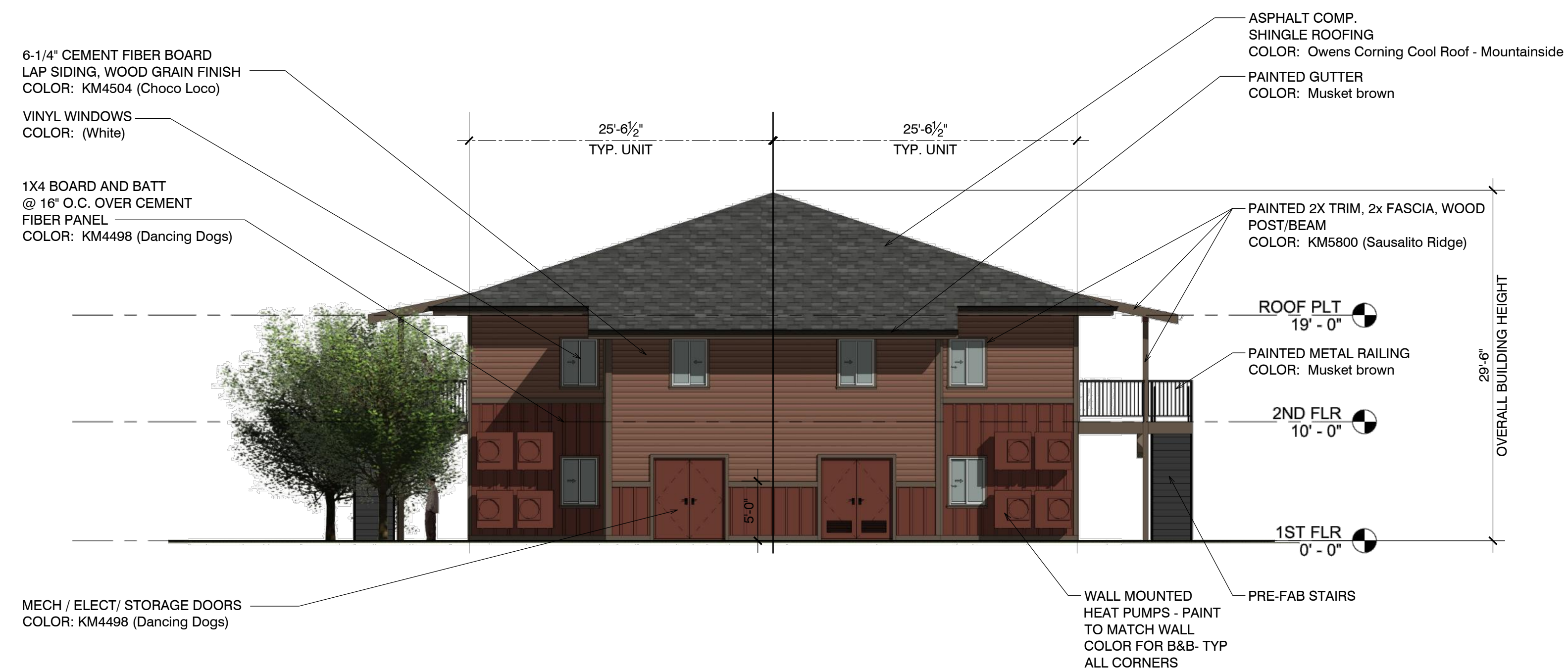
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SALINAS, CA 93905

APN.: 153-011-064-000

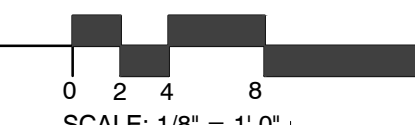
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The Paul Davis Partnership, LLP  
288 Eldorado Street  
Monterey, CA 93940  
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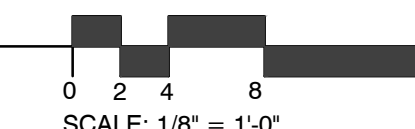
### TYPICAL SIDE ELEVATION

SCALE: 1/8" = 1'-0"



### TYPICAL UNITY ENTRY ELEVATION

SCALE: 1/8" = 1'-0"



Drawn By: AC  
Drawing Date: 7.19.2023  
Project Number: 2208

Revisions:

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### Sheet Title: EXTERIOR ELEVATIONS - COLOR SCHEME C

Sheet Number:



**RECREATION SUMMARY**

Total Open Space Provided: 19,699 sf (0.5 acres)

- Recreational turf area for active, informal outdoor sports and recreation. 6,927 sf
- (1) Multi-use play court striped for 3-point play basketball as well as volleyball. 3,882 sf
- Outdoor seating and shaded picnic areas with benches and picnic tables. 1,562 sf
- 1/4 mile fitness walking pathway. 5,552 sf
- Open space gardens. 1,776 sf

SEE L-1.3 for RECREATION PLAN

**CONCEPT IMAGES**



BENCH



PICNIC AREA



SPORT COURT



OPEN SPACE TURF SPORT FIELD/PLAY AREA



RESIDENT RECREATION ROOMS



RESIDENT RECREATION ROOMS

**IRRIGATION SYSTEM SUMMARY**

1. All planting areas within property fence line to be irrigated.
2. Irrigation controller includes evapotranspiration data and rain sensor.
3. The system will be designed to the recorded static pressure available on site.
4. The system will be designed to prevent runoff and overspray.
5. The system will be designed by per hydrozones established from the planting plan.
6. No overhead spray will be used in areas less than 8' in width.
7. Overhead irrigation will be set back 24" from non-permeable surfaces.
8. Irrigation distribution will be through a mix of:
  - Low flow, high efficiency spray nozzles - Hunter MP rotators or Rainbird rotary sprays in bioswale and planted fire lane.
  - Rotors - Sport field turf
  - Point-source drip - Rainbird or Salco drip emitters
  - Bubblers - Rainbird or Toro
  - A Soil analysis report will be required with site specific recommendations.

**WATER EFFICIENT LANDSCAPE WORKSHEET - RESIDENTIAL**

Project Name	Bengard Employee Housing	Status	Planning	Calc By	JB
Project Number	23.013	Date	07/17/2023		

Reference Evapotranspiration (ETo) 39.10

Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method <sup>2</sup> s or d	Irrigation Efficiency (IEF)	ETAF (PF/IE)	Landscape Area (sq Ft)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>3</sup>
<b>Regular Landscape Areas</b>							
1 Trees	0.4	d	0.81	0.49	710	350.62	8499.66
2 Shrubs/Grndcvr	0.3	d	0.81	0.37	33327	12343.33	299227.09
3 Hydroseed	0.3	s	0.75	0.40	13222	5288.80	128211.09
4 Planted Fire Lane	0.3	s	0.75	0.40	7763	3105.20	75276.26
5 Bioswale	0.3	s	0.75	0.40	4767	1906.80	46224.65
				Totals (A)	59789	(B) 22994.75	557438.74
<b>Special Landscape Areas</b>							
6 Turf Sport Field			1.00		6927	6927.00	167924.33
				Totals (C)	6927	(D) 6927.00	167924.33
<b>ETWU Total (Gallons)</b>							725363.08
<b>Maximum Allowed Water Allowance (MAWA)* (Gallons)</b>							872738.67
<b>ETWU (Acre Feet)</b>							2.23
<b>MAWA (Acre Feet)</b>							2.68

*Hydrozone #/Planting Description	Irrigation Method	Irrigation Efficiency	*ETWU (Annual Gallons Required) =
E.g. 1) front lawn 2) low water use plantings 3) medium water use planting	overhead spray or drip	0.75 for spray head 0.81 for drip	Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

\*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .35 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas		
Total ETAF x Area	(B)	22994.75
Total Area	(A)	59789.00
Average ETAF	B ÷ A	0.38

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas		
Total ETAF x Area	(B+D)	29921.75
Total Area	(A+C)	66716.00
Site-wide ETAF	(B+D) ÷ (A+C)	0.45

**MWELI COMPLIANCE STATEMENT**

I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan.

Signed \_\_\_\_\_ Name Larry Foster 2683 Date \_\_\_\_\_ CLA# \_\_\_\_\_

**MONTEREY COUNTY COMPLIANCE STATEMENT**

I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including the use of native drought tolerant, non-invasive species, limited turf and low flow, water conserving irrigation fixtures.

Signed \_\_\_\_\_ Name Larry Foster 2683 Date \_\_\_\_\_ CLA# \_\_\_\_\_

**LANDSCAPE AREA SUMMARY**

Total Landscape Planting Area: 66,716 sf (1.5 acres)

1. Irrigated turf area: 6,927 sf
2. Irrigated trees, shrubs, and groundcover: 34,037 sf
3. Irrigated hydroseed planting area: 13,222 sf
4. Irrigated bioretention planting area: 4,767 sf
5. Planted Emergency Vehicle Fire Lane: 7,763 sf
6. Trees planted: 71

**PLANT LEGEND**

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER (HxW)
<b>Trees</b>				
L	Arbutus 'Marina'	Marina Strawberry Tree	15 Gal.	30"x20"
M	Platanus racemosa	California Sycamore	15 Gal.	30"x30"
M	Pyrus calleryana 'Aristocrat'	Aristocrat Pear	15 Gal.	35"x20"
<b>Shrubs / Groundcovers</b>				
L	Aloe 'Leo'	Scarlet Rockets Aloe	5 Gal. 36" o.c.	3'x3'
L	Arctostaphylos 'Emerald Carpet'	Manzanita	1 Gal. 60" o.c.	2'x8'
L	Agave attenuata 'Boutin Blue'	Foxtail Agave	1 Gal. 36" o.c.	3'x3'
L	Lomandra confertifolia 'Pom Pom'	Dwarf Mat Rush	1 Gal. 36" o.c.	3'x3'
L	Phormium 'Dark Delight'	Purple New Zealand Flax	5 Gal. 36" o.c.	3'x3'
L	Pittosporum tobira 'Variegatum'	Mock Orange	5 Gal. 60" o.c.	5'x5'
L	Leucadendron 'Safari Sunset'	Safari Conebush	5 Gal. 6" o.c.	6'x6'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
L	Rhamnus californica 'Mound San Bruno'	Dwarf Coffeeberry	5 Gal. 36" o.c.	3'x4'
<b>Turf</b>				
H	Enduro Sod: 90% Fescue, 10% bluegrass			
<b>Bioretention Planting</b>				
L	Achillea millefolium	Yarrow	1 Gal. 24" o.c.	2'x2'
L	Carex divulsa	Gray Sedge	1 Gal. 18" o.c.	1'x2'
L	Juncus patens	California Gray Rush	1 Gal. 3' o.c.	3'x2'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
<b>Hydroseed</b>				
L	Festuca rubra 'Molate Red'/Molate Red Fescue-80%, Argostus pallens/Native Bent Grass - 70%			

Project / Owner:

**Gabilan Agricultural Employee Housing**

SCONBERG PKWY  
SALINAS, CA 93905

APN.: 153-011-064-000



**THE PAUL DAVIS PARTNERSHIP ARCHITECTS & PLANNERS**

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EMAIL: info@pauldavispartnership.com



Drawn By: JB

Drawing Date: 6.30.2023

Project Number: 2208

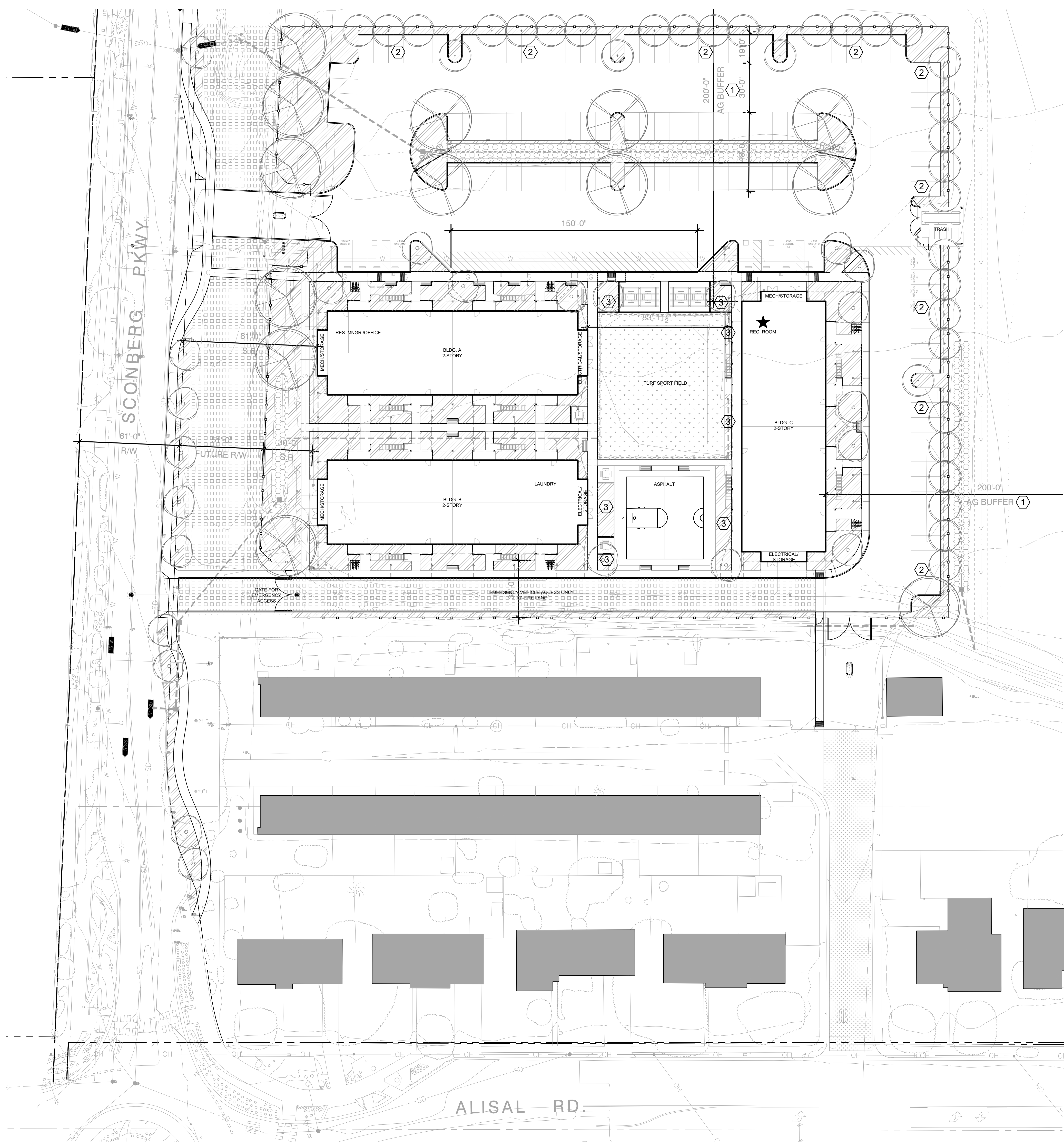
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**LANDSCAPE LEGEND & NOTES**

Sheet Title:  
Sheet Number:





### LANDSCAPE AREA SUMMARY

Total Landscape Planting Area: 66,716 sf (1.5 acres)

1. Irrigated turf area: 6,927 sf
2. Irrigated trees, shrubs, and groundcover: 34,037 sf
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### PLANT LEGEND

*WUC CODE	BOTANICAL NAME	COMMON NAME	SIZE	CHARACTER (HxW)
<b>Trees</b>				
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<b>Shrubs / Groundcovers</b>				
L	Aloe 'Leo'	Scarlet Rockets Aloe	5 Gal. 36" o.c.	3'x3'
L	Arctostaphylos 'Emerald Carpet'	Manzanita	1 Gal. 60" o.c.	2'x8'
L	Agave attenuata 'Boutin Blue'	Foxtail Agave	1 Gal. 36" o.c.	3'x3'
L	Lomandra confertifolia 'Pom Pom'	Dwarf Mat Rush	1 Gal. 36" o.c.	3'x3'
L	Phormium 'Dark Delight'	Purple New Zealand Flax	5 Gal. 36" o.c.	3'x3'
L	Pittosporum tobira 'Variegatum'	Mock Orange	5 Gal. 60" o.c.	5'x5'
L	Leucadendron 'Safari Sunset'	Safari Conebush	5 Gal. 6' o.c.	6'x6'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
L	Rhamnus californica 'Mound San Bruno'	Dwarf Coffeeferry	5 Gal. 36" o.c.	3'x4'
<b>Turf</b>				
H	Enduro Sod: 90% Fescue, 10% bluegrass			
<b>Bioretention Planting</b>				
L	Achillea millefolium	Yarrow	1 Gal. 24" o.c.	2'x2'
L	Carex divulsa	Gray Sedge	1 Gal. 18" o.c.	1'x2'
L	Juncus patens	California Gray Rush	1 Gal. 3' o.c.	3'x2'
L	Muhlenbergia rigens	Deer Grass	5 Gal. 4' o.c.	3'x4'
<b>Hydroseed</b>				
L	Festuca rubra 'Molate Red'/Molate Red Fescue-80%, Argostus pallens/Native Bent Grass - 70%			

### REFERENCE NOTES

- 1 200' Agricultural Buffer
- 2 Closely spaced trees along perimeter and in parking area to create vegetated agricultural buffer.
- 3 Open Space Gardens

SEE L-1.0 for complete  
LANDSCAPE LEGEND & NOTES

Project / Owner:

## Gabilan Agricultural Employee Housing

SCONBERG PKWY  
SALINAS, CA 93905

APN.: 153-011-064-000



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Project Number: 2208

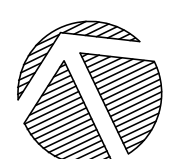
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### Sheet Title: LANDSCAPE PLANTING PLAN

Sheet Number:

SCALE: 1"= 30'-0"



L-1.2

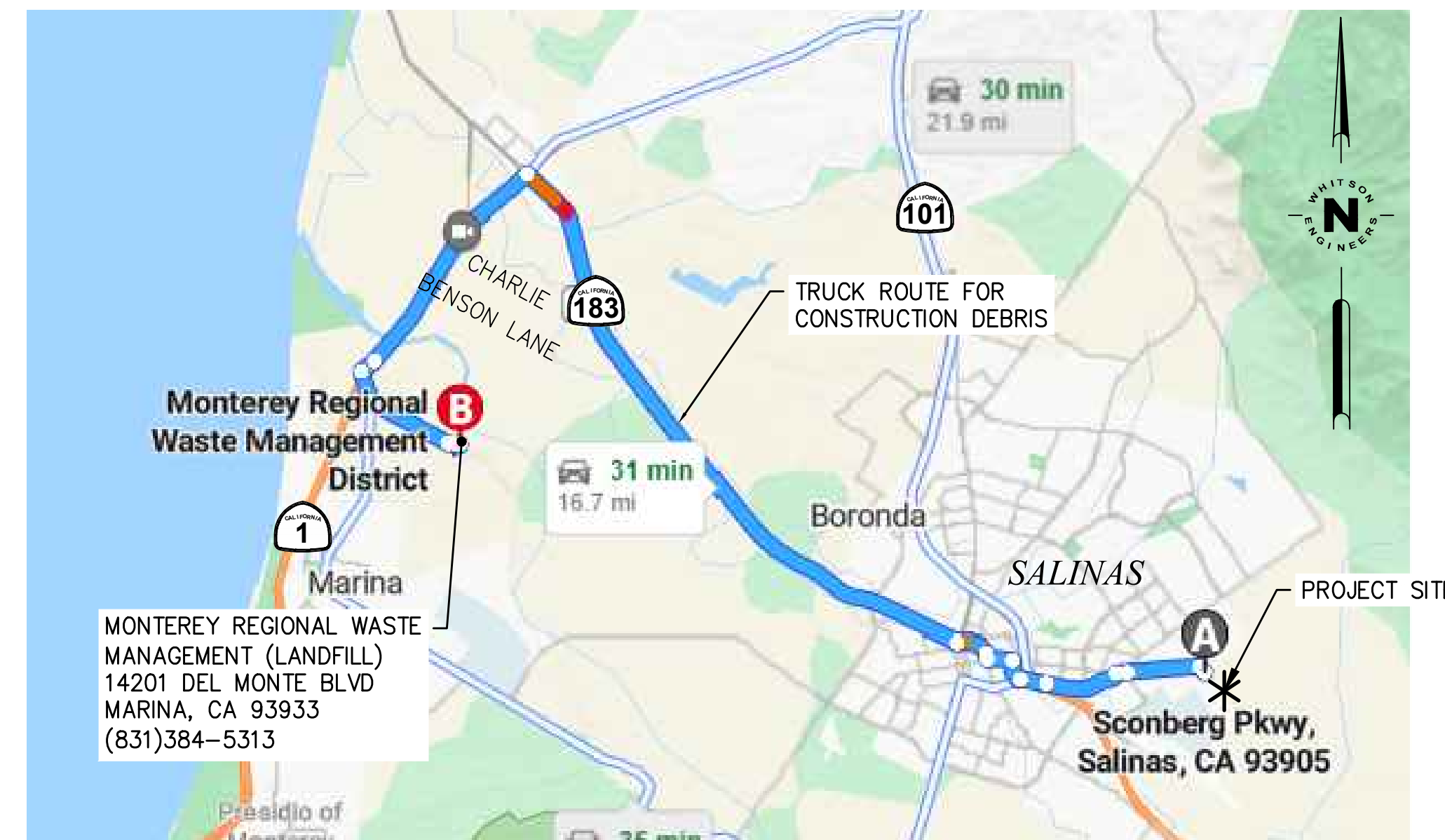




**A OVERALL SITE PLAN**  
 CM1 SCALE: 1"=500'







**B CONSTRUCTION SITE PLAN**  
 CM1 SCALE: 1"=200'



**C TRUCK ROUTING PLAN**  
 CM1 SCALE: NTS

**LEGEND**

-  WORKER PARKING
-  EQUIPMENT PARKING
-  TRUCK ROUTE FOR CONSTRUCTION DEBRIS
-  TEMPORARY STOCKPILES

**EARTHWORK QUANTITIES**

4,700 CY CUT  
 4,700 CY FILL  
 OVERALL SITE BALANCE

GRADING IN FLOOD PLAIN WILL RESULT IN A NET CUT (NO FILL), AND WILL BE EXPORTED FROM FLOOD PLAIN AND WITHIN AGRICULTURAL BUFFER TO BE USED ON-SITE.

**CONTACT INFO**

**ARCHITECT**  
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 286 EL DORADO STREET  
 MONTEREY, CA 93940  
 TEL: (831) 373-2784

**CONTRACTOR**  
 AVILA CONSTRUCTION  
 12 THOMAS OWENS WAY, #200  
 MONTEREY, CA 93940  
 TEL: MIKE AVILA - (831) 594-1288  
 JEFFREY NOHR - (831) 917-5622

**CONSTRUCTION COORDINATOR**

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRES AND IN EMERGENCIES). THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY VISIBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR INQUIRIES ARE IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE NAME, PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.

**CONSTRUCTION MANAGEMENT NOTES**

1. DURATION OF CONSTRUCTION IS 12 MONTHS STARTING FROM THE DATE PERMITS ARE ISSUED.
2. NOISE-GENERATING CONSTRUCTION ACTIVITIES ARE LIMITED TO THE HOURS BETWEEN 7 A.M. AND 7 P.M. MONDAY THROUGH SATURDAY; NO CONSTRUCTION NOISE IS ALLOWED ON SUNDAYS OR NATIONAL HOLIDAYS.
3. TRUCKS WILL BE ROUTED TO AND FROM THE SITE USING THE TRUCK ROUTE SHOWN ON THIS SHEET UNLESS A CLOSER COUNTY APPROVED SITE IS AVAILABLE TO RECEIVE EXPORT.
4. THE NUMBER OF WORKERS WILL VARY THROUGH OUT CONSTRUCTION. WORKERS ONSITE WILL RANGE FROM 10 TO 100.
5. EROSION CONTROL PROTECTION TO BE INSTALLED PER THE PERMITTED PLANS.

Project / Owner:

**Gabilan  
 Agricultural  
 Employee Housing**

SCONBERG PKWY  
 SALINAS, CA 93905

APN: 153-011-064-000



**THE  
 PAUL DAVIS  
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Drawn By: RPW

Drawing Date: 7/19/23

Project Number: 2208 WE:4464.00

Revisions:  
**PLANNING SUBMITTAL: NOT FOR CONSTRUCTION**

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Sheet Title:  
**CONSTRUCTION  
 MANAGEMENT PLAN**

Sheet Number:



**From:** [Brett Godown](#)  
**To:** [Jensen, Fiona](#)  
**Subject:** RE: 10/23/2023 ALUC - PLN230035/Bengard  
**Date:** Wednesday, October 11, 2023 9:40:24 AM  
**Attachments:** [image001.png](#)  
[2023 AIR OPS MAP - Final.pdf](#)

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[CAUTION: This email originated from outside of the County. Do not click links or open attachments unless you recognize the sender and know the content is safe. ]

Airport Staff has reviewed the PLN230035/Bengard (Gabilan Agricultural Employee Housing) site plan dated 7/19/2023 regarding the proposed development located at 1981, 1983, and 1985 Alisal Road, Salinas, CA (Assessor's Parcel Number 153-011-064-000), approximately 3,300 feet east of the approach end of Runway 13 at the Salinas Municipal Airport. Airport Staff provides the following comments:

1. The Airport recommends the applicant file with the FAA form 7460-1, Notice of Proposed Construction or Alteration.  
(<https://www.faa.gov/forms/index.cfm/go/document.information/documentID/186273>).
2. Due to the location and nature of the development, the applicant must certify any construction or alteration of the site will not negatively or adversely affect the flying public by way of glare or lighting.
3. The Airport recommends a Grant of Aviation Easement Agreement for the associated parcel to be secured and recorded.
4. The parcel is located on the downwind leg for Runways 13/31 and will experience noise exposure from over-flight aircraft. The development should be developed to accommodate and be resilient to over-flight noise exposure. It is highly recommended the developer consider engineering the development to exceed the Community Noise Equivalent Level (CNEL) as per the Salinas Municipal Airport Land Use Plan or the General Plan.
5. Annually, the Salinas Airport hosts the California International Airshow; the residences will experience significant noise exposure and low altitude overflight during the air show period. I have attached an exhibit of the airshow performance box for reference. The development should be developed to accommodate and be resilient to over-flight noise exposure. It is highly recommended the developer consider engineering the development to exceed the Community Noise Equivalent Level (CNEL) as per the Salinas Municipal Airport Land Use Plan or the General Plan.

Brett J. Godown C.M., C.A.E.  
Airport Manager  
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Em: [brett.godown@ci.salinas.ca.us](mailto:brett.godown@ci.salinas.ca.us)

---

**From:** Jensen, Fiona <JensenF1@co.monterey.ca.us>

**Sent:** Monday, October 9, 2023 8:38 PM

**To:** Brett Godown <brett.godown@ci.salinas.ca.us>

**Subject:** 10/23/2023 ALUC - PLN230035/Bengard

Hi Brett,

As we previously discussed, PLN230035/Bengard is being referred to the ALUC. I am targeting the October 25, 2023 ALUC meeting.

PLN230035 includes a Use Permit to allow construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements including a laundry facility, a recreation room, open space and informal sports fields. The property is located at 1981, 1983, and 1985 Alisal Road, Salinas (Assessor's Parcel Number 153-011-064-000), Greater Salinas Area Plan.

Please let me know by October 16, 2023 if you have any comments on the proposed application.

Thank you,



**Fionna Jensen**

*Senior Planner*

County of Monterey Housing & Community Development

1441 Schilling Place, South 2<sup>nd</sup> Floor

Main: [\(831\)755-5025](tel:8317555025) | Direct: [\(831\) 796-6407](tel:8317966407) | [Accela](#)