

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION



Monterey County ALUC Staff  
c/o HCD-Planning  
1441 Schilling Place, 2nd Floor  
Salinas, CA 93901

Phone: (831) 755-5025  
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Fionna Jensen : (831) 796-6407

## REGULAR MEETING AGENDA

Monterey Peninsula Airport District  
Board Meeting Room  
200 Fred Kane Drive, Suite 200  
Monterey, California

**November 13, 2023**

**3:00 p.m.**

### IMPORTANCE NOTICE REGARDING PARTICIPATION IN THE AIRPORT LAND USE COMMISSION MEETING

To participate in this Monterey County Airport Land Use Commission meeting, public participants are invited to observe and address the Commission in-person at the Board Meeting Room. Instructions for the public to participate are below:

**Participate at the Physical Meeting Site:** Monterey Peninsula Airport District, Board Meeting Road. 200 Fred Kane Drive, Suite 200, Monterey, CA 93940.

#### Meeting Instructions:

1. If a member of the public wishes to comment on a particular agenda item, the public is strongly encouraged to submit their comments in writing via email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Comments should be submitted by 2:00 p.m. on the business day prior to the commission meeting date. To assist Commission staff in identifying the agenda item to which the comment relates, the public is requested to include the file number in the subject line. Comments received by the 2:00 p.m. deadline will be distributed to the Commission and will be placed in the record.
2. If speakers or other members of the public have documents they wish to distribute to the Commission for an agenda item, they are encouraged to submit such documents via email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Documents should be submitted by 2:00 p.m. on the business day prior to the commission meeting date. To assist Commission staff in identifying the agenda item to which the document relates, the public is requested to include the file number in the subject line.
3. If applicants or members of the public want to present documents and/or Power Point presentations while speaking, they should submit the document and/or presentation electronically by 2:00 p.m. on the business day prior to the commission meeting date to Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). If submitted after that deadline, staff will make best efforts, but cannot guarantee, to make the document and/or presentation available to present during the meeting.
4. While the matter is being heard, a member of the public may submit a comment via email, preferably limited to 250 words or less, to Commission staff [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). To assist Commission staff in

identifying the agenda item to which the comment relates, the public is requested to include the file number in the subject line. If the comment is received prior to close of public comment on an agenda item, every effort will be made to read the comment into the record, but some comments may not be read out loud due to time limitations or length of the comment (e.g., if the comment exceeds 250 words). Comments received prior to the close of the public comment period on an agenda item will be made part of the record for that item.

5. Members of the public who wish to make a general public comment for items not on the day's agenda may submit their comment via email, preferably limited to 250 words or less, to the Airport Land Use Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). The Airport Land Use Commission name and meeting date, and "general comment", should be indicated in the subject line. The comment will be placed in the record for the meeting, and every effort will be made to read the comment into the record at the appropriate time on the agenda.
6. Individuals with disabilities who desire to request a reasonable accommodation or modification to observe or participate in the meeting may make such request by sending an email to the Commission staff at [JensenF1@co.monterey.ca.us](mailto:JensenF1@co.monterey.ca.us) (Fionna Jensen). Such requests include but are not limited to: Wheelchair Accessible Facilities, Sign Language Interpreters and Printed Materials in large print, Braille, or on disk, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 USC Sec. 12132) and the federal rules and regulations adopted in implementation thereof. The request should be made no later than 12:00 p.m. (i.e., noon) two (2) business days prior to the Airport Land Use Commission meeting date in order to provide time for the Commission staff to address the request.
7. The Commission Chair and/or Secretary may set reasonable rules as needed to conduct the meeting in an orderly manner.

**1. CALL TO ORDER – Pledge of Allegiance**

**2. ROLL CALL**

*Any Commissioner who will not be able to attend the scheduled public meeting shall notify the Chair, their Proxy, and ALUC staff.*

**3. PUBLIC COMMENT**

*The Commission will receive public comment on non-agenda items within the purview of the Commission. It is not necessary to complete a speaker request form. The Chair may limit the length of individual presentations to 3 minutes.*

**4. COMMISSIONER'S COMMENTS**

*Commissioners may speak on non-agenda items within the purview of the Commission.*

**5. APPROVAL OF MINUTES**

October 25, 2023

**6. CONSENT**

None

**7. SCHEDULED ITEMS**

*Note: Action listed for each item represents staff recommendation. The Commission may, at its discretion, take any action on the items listed on the Agenda.*

**a. REF230034 – City of Monterey (Oxford Life Insurance Company)**

Proposed demolition of an existing 6,250 square foot warehouse and construction of a replacement 20,706 square foot U-Haul warehouse and associated site improvements.

Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

**b. REF230035 – City of Salinas**

Proposed adoption of City of Salinas' draft Housing Element  
Proposed Action: Find the project consistent with the 1982 Airport  
Land Use Plan for Salinas Municipal Airport.

**c. Airport Land Use Compatibility Plan (ALUCP) Update** Update  
regarding local jurisdiction progress on the requirement to amend  
applicable general and specific plans in response to the adoption  
of the ALUCPs for Monterey Regional Airport and Marina  
Municipal Airport.

Proposed Action: For information only. No action required.

**d. Future Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding funding and staff resources for future updates to  
the ALUCPs for Salinas Municipal Airport and Mesa Del Rey (King  
City) Airport.

Proposed Action: For information only. No action required.

**8. ANNOUNCEMENTS**

**9. ADJOURNMENT**

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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Monterey Peninsula Airport  
Board Meeting Room  
200 Fred Kane Drive, Suite 200  
Monterey, California

### **Action Minutes of the Proceedings of the Commissioners of the Monterey County Airport Land Use Commission for Monday, October 23, 2023 – Regular Meeting**

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#### **1. CALL TO ORDER – Pledge of Allegiance**

The Monterey County Airport Land Use Commission (ALUC), Commissioner (Chair) Cohan presiding, convened at 3:01 p.m. Commission members and members of the public attended/participated physically.

#### **2. ROLL CALL**

##### **Commissioners (or Proxy) Present:**

Commissioners Carbone, McGregor, Cleveland, Cohan, Stewart – a quorum

##### **Commissioners Not Present and Not Represented by Proxy:**

Commissioners Williamson and Scherer

##### **ALUC (Monterey County) Staff Present:**

Fionna Jensen, Housing and Community Development (HCD)-Planning  
Robert Brayer, County of Monterey Counsel

##### **For Informational Purposes Only, Members of the Public Participating:**

Joe Sidor, Harris & Associates, City of Pacific Grove  
Alyssa Kroeger, City of Pacific Grove  
Anastazia Aziz, EMC Planning Group, City of Sand City  
Garrett McCown, City of Pacific Grove  
Kathryn Avila, Avila Construction

#### **3. PUBLIC COMMENT**

*The Commission will receive public comment on non-agenda items within the purview of the Commission. It is not necessary to complete a speaker request form. The Chair may limit the length of individual presentations to 3 minutes.*

None.

**4. COMMISSIONER'S COMMENTS**

*Commissioners may speak on non-agenda items within the purview of the Commission.*

None.

**5. APPROVAL OF MINUTES**

The Commission voted 4-0 ( 4 ayes – 0 naves) to approve the minutes of the October 9, 2023 special meeting, as amended on October 23, 2023. Motion to approve made by Commissioner Carbone and seconded by Commissioner Stewart.

Commissioner Carbone attended meeting after roll call of the October 9, 2023 minutes.

**6. CONSENT**

None.

**7. SCHEDULED ITEMS**

*Note: Action listed for each item represents staff recommendation. The Commission may, at its discretion, take any action on the items listed on the Agenda.*

**a. REF230031 – City of Pacific Grove**

Proposed adoption of City of Pacific Grove's draft Housing Element.  
Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

Staff presented and responded to Commissioner questions.

The Commission voted 5-0 ( 5 ayes – 0 naves) to find the City of Pacific Grove's draft Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport. Motion made by Commissioner Cleveland and seconded by Commissioner Stewart.

Commissioner Cleveland had questions regarding the NOAA building and whether Airport District Staff commented. Joe Sidor informed the Commission that the NOAA building was removed from the Housing Element inventory list.

**b. REF230032 – City of Seaside**

Proposed adoption of City of Seaside's draft Housing Element  
Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

Item trailed to end of scheduled matters to allow time for Seaside staff to arrive.

Staff presented and responded to Commissioner questions.

The Commission voted 5-0 ( 5 ayes – 0 naves) to find the City of Seaside's draft Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport. Motion made by Commissioner Stewart and seconded by Commissioner McGregor.

Commissioner Cohan asked City staff when their General Plan would be submitted to the ALUC.

Commissioner Cleveland had questions regarding nighttime lighting during construction.

**c. REF230033 – City of Sand City**

Proposed adoption of City of Sand's draft Housing Element and Zoning Ordinance amendments.

Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport

Staff presented and responded to Commissioner questions.

The Commission voted 4-0 ( 5 ayes – 0 naves – 1 recused) to find the City of Sand City's draft Housing Element consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport. Motion made by Commissioner Cleveland and seconded by Commissioner Stewart.

Commissioner Cleveland had questions about the City's height restrictions and future development along Highway 101.

**d. PLN230035 – Bengard Family Partnership et al (County of Monterey)**

Proposed construction of three two-story 16,286 agricultural employee housing apartment buildings (48,858 square foot total) containing 45 residential units to accommodate up to 360 employees, and associated site improvements.

Proposed Action: Find the project consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport.

Staff presented and responded to Commissioner questions.

The Commission voted 5-0 ( 5 ayes – 0 naves) to find the project consistent with the 1982 Airport Land Use Plan for Salinas Municipal Airport. Motion made by Commissioner McGregor and seconded by Commissioner Cohan.

Commissioner Cohan had questions relating to the distance to the airport and whether cranes would be in use during construction.

Commissioner Stewart asked whether parking lot lighting would be downlit and how close the project was to Runway 13-31.

Commissioner Cleveland asked whether construction would occur at night. Applicant responded that it would not.

**e. Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding local jurisdiction progress on the requirement to amend applicable general and specific plans in response to the adoption of the ALUCPs for Monterey Regional Airport and Marina Municipal Airport.

Proposed Action: For information only. No action required.

Staff provided an update on recent outreach to affected local jurisdictions. County of Monterey, City of Salinas, City of Monterey are expected to refer their respective Draft Housing Elements to the ALUC by the end of 2023.

**f. Future Airport Land Use Compatibility Plan (ALUCP) Update**

Update regarding funding and staff resources for future updates to the ALUCPs for Salinas Municipal Airport and Mesa Del Rey (King City) Airport.

Proposed Action: For information only. No action required.

No updates at this time.

**8. ANNOUNCEMENTS**

Commissioner asked County Counsel whether proxies could be shared or if the number of proxies for the entire Commission could be reduced.

**9. ADJOURNMENT**

Meeting adjourned at 4:00pm

Next scheduled regular meeting: November 13, 2023

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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### MEMORANDUM

<b>To:</b>	Airport Land Use Commission (ALUC)
<b>From:</b>	Fionna Jensen, ALUC staff, November 5, 2023 (831) 796-6407
<b>Meeting Date:</b>	November 13, 2023
<b>Subject:</b>	Scheduled Item 7a – CITY OF MONTEREY (OXFORD LIFE INSURANCE COMPANY) Proposed demolition of an existing 6,250 square foot warehouse and construction of a replacement 20,706 square foot U-Haul warehouse and associated site improvements (REF230034).

#### **RECOMMENDATION:**

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the proposed 20,706 square foot replacement U-Haul warehouse (ALUC File No. REF230034) consistent with the 2019 Airport Land Use Compatibility Plan for the Monterey Regional Airport (ALUCP).

#### **BACKGROUND AND DISCUSSION:**

On October 09, 2023, the City of Salinas submitted an application (ALUC File No. REF230034) to ALUC staff requesting consideration of the proposed demolition of an existing 6,250 square foot warehouse and construction of a replacement 20,706 square foot U-Haul warehouse and associated site improvements including new landscaping, and new parking stalls. The subject property is located at 2330 Del Monte Avenue, Monterey (APN: 013-045-035-000). The proposed project includes the redevelopment of a 5.68-acre commercial property with a 14,670 square-foot Penske Truck service facility, exterior canopies totaling 3,670 square feet, and on-site parking for 145 vehicles. Approximately 1-6 employees will be on-site at any given time. The proposed warehouse would be used as a distribution and storage point for U-Boxes. U-Boxes are large containers that are delivered to homes and businesses to be filled with personal items, and then either stored or shipped by U-Haul. The proposed U-Box storage building would not be open to the public and is for storage and distribution of U-Boxes only. The property's existing truck rental and retail operation would continue with customers continuing to visit to rent U-Haul trucks.

#### **CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the City's proposed development in accordance with the adopted ALUCP as discussed below:



NOISE COMPATIBILITY

The proposed development was reviewed for consistency with Table 4A and Exhibit 2E of the ALUCP (Noise Compatibility Criteria and Long Range Noise Exposure Contours). The subject property is located outside of the 65-70 CENL contours and therefore will not be exposed to loud airport noise and is considered a compatible use.

AIRSPACE PROTECTION & SAFETY COMPATIBILITY

The subject property is located approximately 3,956 square feet from the Monterey Regional Airport runway. ALUCP Policy 4.2.3 addresses the objective of airspace protection to avoid the development of land use conditions that would pose hazards to flight, such as airspace obstructions, wildlife hazards, and land use characteristics which pose other potential hazards to flight by creating visual or electronic interference. The subject property is located within Safety Zone 7, which allows for all uses except hazards to flight, outdoor stadiums, and other similar high intensity uses. The proposed development will have a low intensity, like a corporation yard, parking lot, or warehouse, and is, therefore, an allowed use. The proposed development will not create a hazard to flight and has been conditioned to require the installation of low-level down-lit exterior lighting. Additionally, the proposed development will have a ridge height of approximately 32 feet and therefore will not encroach into the imaginary surfaces (Part 77, Diagram B of the ALUP). As conditioned, the proposed development will not interfere with airspace protection and is an allowed use.

**MONTEREY REGIONAL AIRPORT REVIEW:**

ALUC staff forwarded project information to Monterey Airport District staff who agreed with application of a condition of approval requiring installation of down-lit exterior lighting.

**CONCLUSION:**

Based on review and analysis of the proposed U-Haul warehouse, staff recommends the ALUC adopt a resolution finding the proposed consistent with the 2019 Airport Land Use Compatibility Plan for Monterey Regional Airport, subject to one condition of approval.

Attachments:

- |              |   |
|--------------|---|
| Attachment A | Draft ALUC Resolution   |
|              | • Recommended Conditions of Approval                                |
| Attachment B | Project Plans   |
| Attachment C | City of Monterey Consistency Analysis Letter, dated October 9, 2023 |

cc: ALUC Commissioners; ALUC Counsel; Monterey Regional Airport District (C. Morello); City of Monterey (Christy Sabdo); Avila Construction (Kathryn Avila); ALUC File No. REF230034

**Before the Monterey County Airport Land Use Commission,  
State of California**

**Resolution No. 23-**

Finding the proposed demolition of an existing 6,250 square foot warehouse and construction of a replacement 20,706 square foot U-Haul warehouse and associated site improvements consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport.

REF230034, 2330 Del Monte Avenue,  
Monterey (APN: 013-045-035-000)

**WHEREAS**, on October 09, 2023, the City of Monterey submitted an application (ALUC File No. REF230034) to ALUC staff requesting a consistency determination of a proposed replacement U-Haul facility located at 2330 Del Monte Avenue, Monterey; and

**WHEREAS**, the ALUC is responsible for the review of local land use regulations affecting land uses within the Airport Influence Area for Monterey Regional Airport, as identified in the Monterey Regional Airport Land Use Compatibility Plan (ALUCP), incorporated herein by reference, for consistency with the ALUCP; and

**WHEREAS**, the proposed project includes demolition of an existing 6,250 square foot U-Haul warehouse building and construction of a replacement 20,706 square foot warehouse to accommodate U-Haul U-Boxes, and other site improvements included new landscaping, and new parking stalls;

**WHEREAS**, pursuant to Table 4A of the ALUCP and Exhibit 2E, Noise Compatibility Criteria and Long Range Noise Exposure Contours, the subject property is not located within the 65-, 70-, or 75- Community Noise Equivalent Levels (CNELs) and therefore the proposed development is a compatible use; and

**WHEREAS**, the proposed development will have a height of approximately 32 feet and therefore will not encroach Part 77 Surfaces and does not require ALUC review with respect to airspace protection criteria (ALUCP Policy 4.2.3.2); and

**WHEREAS**, per Exhibit 4C of the ALUCP, the subject property is located within Safety Zone 7 (Airport Influence Area); and

**WHEREAS**, per Table 4B (Safety Criteria Matrix) of the ALUCP, only Hazards to flight, outdoor stadiums and similar uses with very high intensity uses are considered prohibited uses in Safety Zone 7; and

**WHEREAS**, as designed and conditioned, the proposed development will not create a hazard to flight as the proposed use will not introduce electrical interference,

high-intensity lighting, bird attraction, or glare. There, the proposed project is consistent with Safety Zone 7 limitations; and

**WHEREAS**, the proposed development will have a low intensity, like a corporation yard, parking lot, or warehouse, and is therefore will not induce a high number of individuals who may be subject to aircraft related accidents and is considered a compatibility use for the subject property; and

**WHEREAS**, as requested by the Monterey Regional Airport, the project has been conditioned to require the installation of low-level down-lit exterior lighting; and

**WHEREAS**, on November 13, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed project located at 2330 Del Monte Avenue, Monterey (APN: 013-045-035-000); and

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the proposed demolition of an existing 6,250 square foot warehouse and construction of a replacement 20,706 square foot U-Haul warehouse and associated site improvements consistent with the 2019 Airport Land Use Compatibility Plan (ALUCP) for Monterey Regional Airport, subject to one condition of approval.

**PASSED AND ADOPTED** on this 13<sup>th</sup> day of November 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_ by the following vote, to-wit:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST  
Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
November 13, 2023



**ALUC STANDARD CONDITIONS**

The following standard conditions may be applied to an application being considered before the ALUC. If the box next to the condition is marked, that indicates that the condition is to be applied to the project as part of the ALUC recommendation.

**PROJECT NAME** CITY OF MONTEREY (OXFORD LIFE INSURANCE COMPANY)  
**PROJECT NO.** REF230034

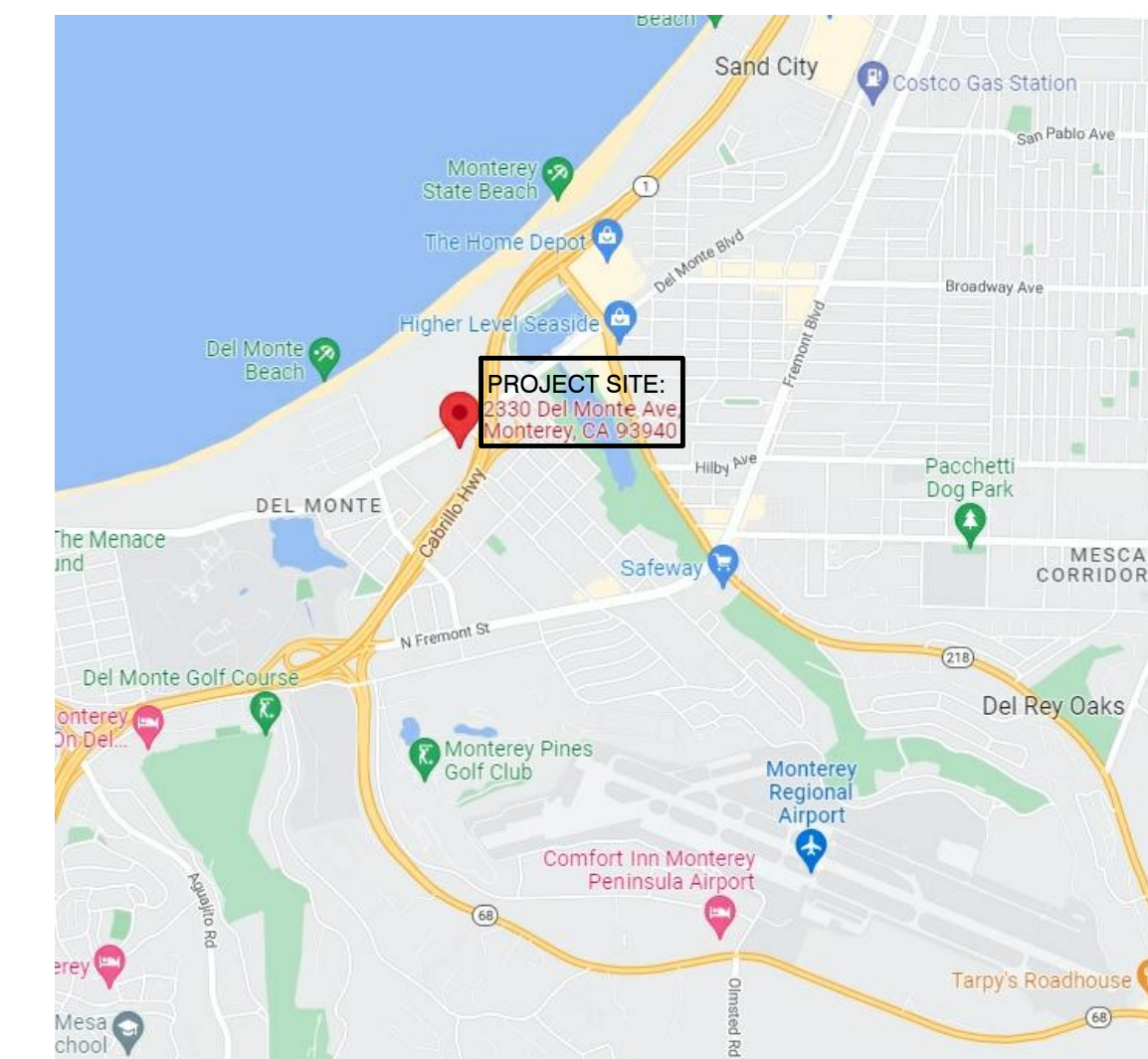
<input type="checkbox"/>	<p><b>ALUC-1</b></p>	<p><b>AVIGATION AND HAZARD EASEMENT</b> Prior to the issuance of a construction permit, the developer/owner shall grant an avigation and hazard easement to the appropriate airport authority. The easement shall be recorded at the Monterey County Recorder’s Office. The easement may include:</p> <ul style="list-style-type: none"> <li>• Right-of-flight at any altitude above the acquired easement surfaces.</li> <li>• Right to cause noise, vibrations, fumes, dust and fuel particle emissions.</li> <li>• Right to prevent construction or growth of all structures, objects or natural growth above the acquired easement surfaces.</li> <li>• Right-of-entry to remove, mark or light any structures or growth above the acquired easement surfaces, or right to require the owner to remove, mark or light.</li> <li>• Right to prohibit creation of electrical interference, unusual light sources and other hazards to aircraft flight.</li> <li>• Any other limitation that the ALUC may recommend to protect the public’s health, safety and welfare.</li> </ul>
<input type="checkbox"/>	<p><b>ALUC-2</b></p>	<p><b>NOISE INSULATION STANDARDS</b> The project shall conform to current noise insulation standards pursuant to the California Administrative Code, Title 25, Chapter 1, Subchapter 1.</p>
<input type="checkbox"/>	<p><b>ALUC-3</b></p>	<p><b>NOISE STANDARDS</b> The project shall conform to noise standards pursuant to the California Building Code (California Code of Regulations, Title 24).</p>
<input type="checkbox"/>	<p><b>ALUC-4</b></p>	<p><b>AIRPORT APPROACH ZONING</b> The project shall conform with Title 20 and Title 21 of the Monterey County Code (Zoning Ordinances), Chapter 20.92 and Chapter 21.86, Airport Approaches Zoning, and/or applicable zoning code relevant to airport hazards and operations.</p>

<input type="checkbox"/>	<b>ALUC-5</b>	<b>OBJECTS AFFECTING NAVIGABLE AIRSPACE</b> The project shall conform to FAR, Part 77 – Objects Affecting Navigable Airspace.
<input checked="" type="checkbox"/>	<b>ALUC-6</b>	<b>EXTERIOR LIGHTING</b> Prior to the issuance of a construction permit, an Exterior Lighting Plan shall be reviewed and approved by the applicable airport manager prior to the issuance of any construction permits. All exterior lighting and sources of glare shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled.
<input type="checkbox"/>	<b>ALUC-7</b>	<b>TOWERS - MARKING AND LIGHTING</b> When not specifically required by FAA Advisory Circular 70/7640-IF (Obstruction Marking and Lighting), the following ALUC recommendations shall be applied to towers: <input type="checkbox"/> A flashing red beacon shall be installed at the highest point of the structure. <input type="checkbox"/> A steady burning red obstruction light shall be installed at the highest point of the structure. <input type="checkbox"/> A steady burning red obstruction light shall be installed at the intermediate level of the structure. <input type="checkbox"/> Nine (9) day-glow markers (20" minimum) shall be installed on the top level of guide wires (3 to the wire). <input type="checkbox"/> The applicant shall contact the FAA to publish a NOTAM (Notice to airmen) in Monterey County about the location of the proposed structure. <input type="checkbox"/> Standard marking (orange and white striping) shall be installed, as defined in Chapter 3 of the FAA AC 70/7460-IF.
<input type="checkbox"/>	<b>ALUC-8</b>	<b>NO CONDITION REQUIRED</b> The project, as reviewed by the ALUC, is consistent with the CLUP for that jurisdiction and does not require any conditions.
<input type="checkbox"/>	<b>ALUC-9</b>	<b>NON-STANDARD CONDITION</b>

**PROJECT REVIEWED BY ALUC ON: 11/13/2023**



VICINITY MAP



Project / Owner:

**Avila U-Haul**

2330 DEL MONTE AVE  
MONTEREY, CA 93940

APN.: 013-045-035-000

PROJECT OWNER:  
OXFORD LIFE INSURANCE COMPANY  
2721 NORTH CENTRAL AVE.  
PHOENIX, AZ 85004  
(602) 277-5901

CONTRACTOR / APPLICANT:  
AVILA CONSTRUCTION COMPANY  
12 THOMAS OWENS WAY, SUITE 200  
MONTEREY, CA 93940  
(831) 373-5580 PHONE  
(831) 372-5584 FAX  
CONTACT: KATHRYN AVILA

**THE PAUL DAVIS PARTNERSHIP**  
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

PROJECT DATA

PROJECT ADDRESS: 2330 DEL MONTE AVE., MONTEREY, CA 93940

APN: 013-045-035-000

SITE AREA: 2.84 AC / 123,710 SF

ZONING: C-3-D2-ES

GENERAL PLAN: COMMERCIAL

PERMITTED USES: RETAIL, AUTOMOBILE RENTALS, VEHICLE / EQUIPMENT RENTALS, WAREHOUSING / STORAGE LTD

DESCRIPTION OF WORK: USE PERMIT FOR NEW CONSTRUCTION OF APPROXIMATELY 21,000 SF U-BOX STORAGE BUILDING NEXT TO EXISTING BLDG., OUTDOOR STORAGE AND DISPLAY OF MERCHANDISE, DEMO 6,250 SF WAREHOUSE PORTION OF EXISTING BLDG. A, AND SITE IMPROVEMENTS TO INCLUDE LANDSCAPING AND NEW PARKING SPACES STRIPING.

HEIGHT LIMIT: 2 STORIES / 25 FT MAX. FOR ZONE 4 (EXIST. BLDG) PER MCC 38-30  
30 FT MAX. FOR EAST DEL MONTE AREA PLAN  
PROPOSED 1 STORY / 29 FT w/ 3FT PARAPET (SEE EXCEPTION BELOW)

HEIGHT LIMIT EXCEPTION PER SEC. 38-106:  
Parapet walls extending not more than 4 ft above bldg. height limit.

EXISTING BUILDING HEIGHT TO REMAIN: 24'-8"±  
PROPOSED BUILDING RIDGE HEIGHT: 29'± MAX. with PARAPET 31'-10"±  
MAX. FROM (E) LOWEST GRADE

BUILDING AREA: BLDG A (SHOWROOM) EXISTING = 11,010 SF  
DEMO = -6,250 SF  
ADDITION U BOX NEW = 20,708 SF  
TOTAL = 25,468 SF

LOT COVERAGE: 50% (61,855 SF) MAX ALLOWED  
20% (25,133 SF) PROPOSED & EXISTING

F.A.R.: 20% OF PARCEL

IMPERVIOUS SURFACE: 95,396 SF  
PERVIOUS SURFACE: 28,120 SF  
TOTAL: 123,516 SF

REQUIRED SETBACKS:

FRONT = 10 to 15'  
SIDE = 0'  
REAR = 0'  
CORNER SIDE = 0'

PARKING REQUIRED: SEE CIVIL SHEET 3

USE	AREA (SF)	RATIO	# SPACES REQ'D
(E) Vehicle/Equipment repair (Bldg A)	872	1:400	2
(E) Sales Area (Bldg A)	3,888	1:500	8
New Warehouse addition	20,708	1:2500	8
Outdoor Storage	11,173	1:2500	5
<b>PROPOSED PARKING:</b>			<b>23</b>
Visitor/Employee			20
Rental Vehicle			55
			<b>TOTAL</b>

ACCESSIBLE PARKING REQUIRED: 1 VAN SPACE REQUIRED  
1 VAN & 1 STANDARD SPACE PROVIDED

NONRESIDENTIAL VOLUNTARY MEASURES

TOTAL NUMBER OF ACTUAL PARKING SPACES	EV PARKING PER CALGREEN TABLE A5.106.5.3.2	
	TIER 2 NUMBER OF REQUIRED EV CAPABLE SPACES	TIER 2 NUMBER OF EVCS (EV CAPABLE SPACE PROVIDED WITH EVSE)
51-75	28	9*

\* EVSE IN COLUMN 3 COUNT TOWARD THE TOTAL NUMBER OF REQUIRED EV CAPABLE SPACES SHOWN IN COLUMN 2

ACCESSIBLE EV REQUIRED PER CBC 11B-228.3  
FOR 5-25 EVCS = 1 VAN & 1 STANDARD SPACE REQUIRED  
= 1 VAN & 1 STANDARD SPACE PROVIDED

Drawn By:



AP/AC

Drawing Date:

08.29.2023

Project Number:

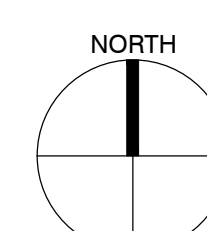
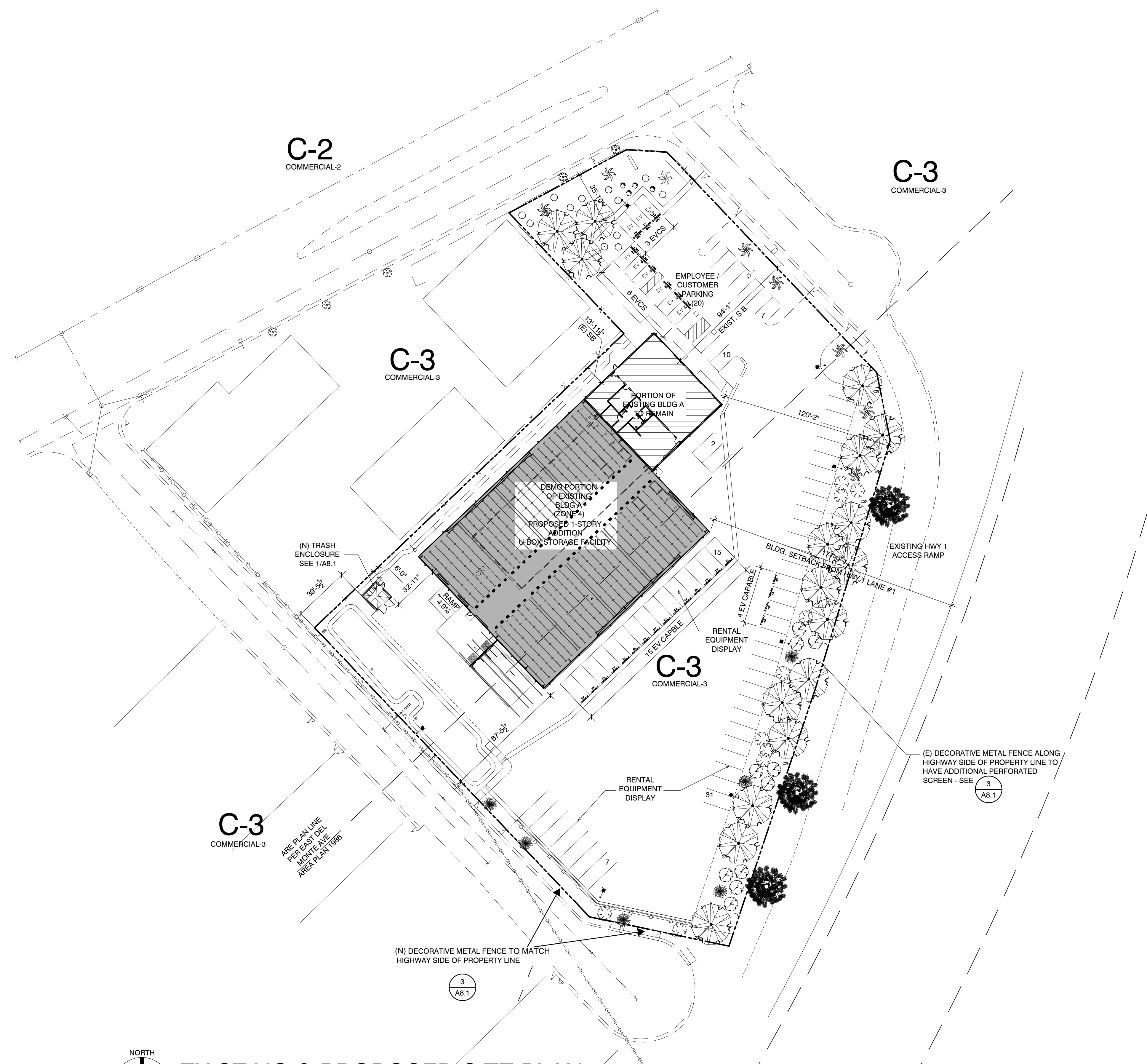
2226

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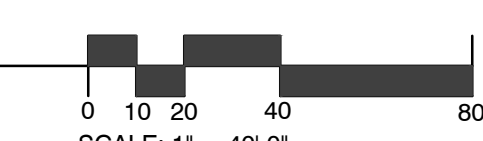
Sheet Title:  
**EXISTING & PROPOSED SITE PLAN**

Sheet Number:



**EXISTING & PROPOSED SITE PLAN**

SCALE: 1" = 40'-0"



SCALE: 1" = 40'-0"

Project / Owner:

### Avila U-Haul

2330 DEL MONTE AVE  
MONTEREY, CA 93940

APN.: 013-045-035-000

PROJECT OWNER:  
OXFORD LIFE INSURANCE COMPANY  
2721 NORTH CENTRAL AVE.  
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(602) 277-5901

CONTRACTOR / APPLICANT:  
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(831) 372-5584 FAX  
CONTACT: KATHRYN AVILA

LIGHT FIXTURE SCHEDULE		
XA	EXTERIOR WALL PRECISION REFRACTIVE, 8'-0" ABOVE FIN. GRADE OR LANDING TO BOTTOM OF FIXTURE FIXTURE SHALL HAVE FACTORY INSTALLED EMERGENCY BATTERY WITH 90-MIN. RATING	LITHONIA LIGHTING WDGE2-LED

### ELECTRICAL SYMBOL

- ⊠ LUMINAIRE - POLE OR POST MOUNTED - MATCH (E) - SEE PHOTO BELOW
- ⊠ LUMINAIRE - WALL MOUNTED SEE SCHEDULE.

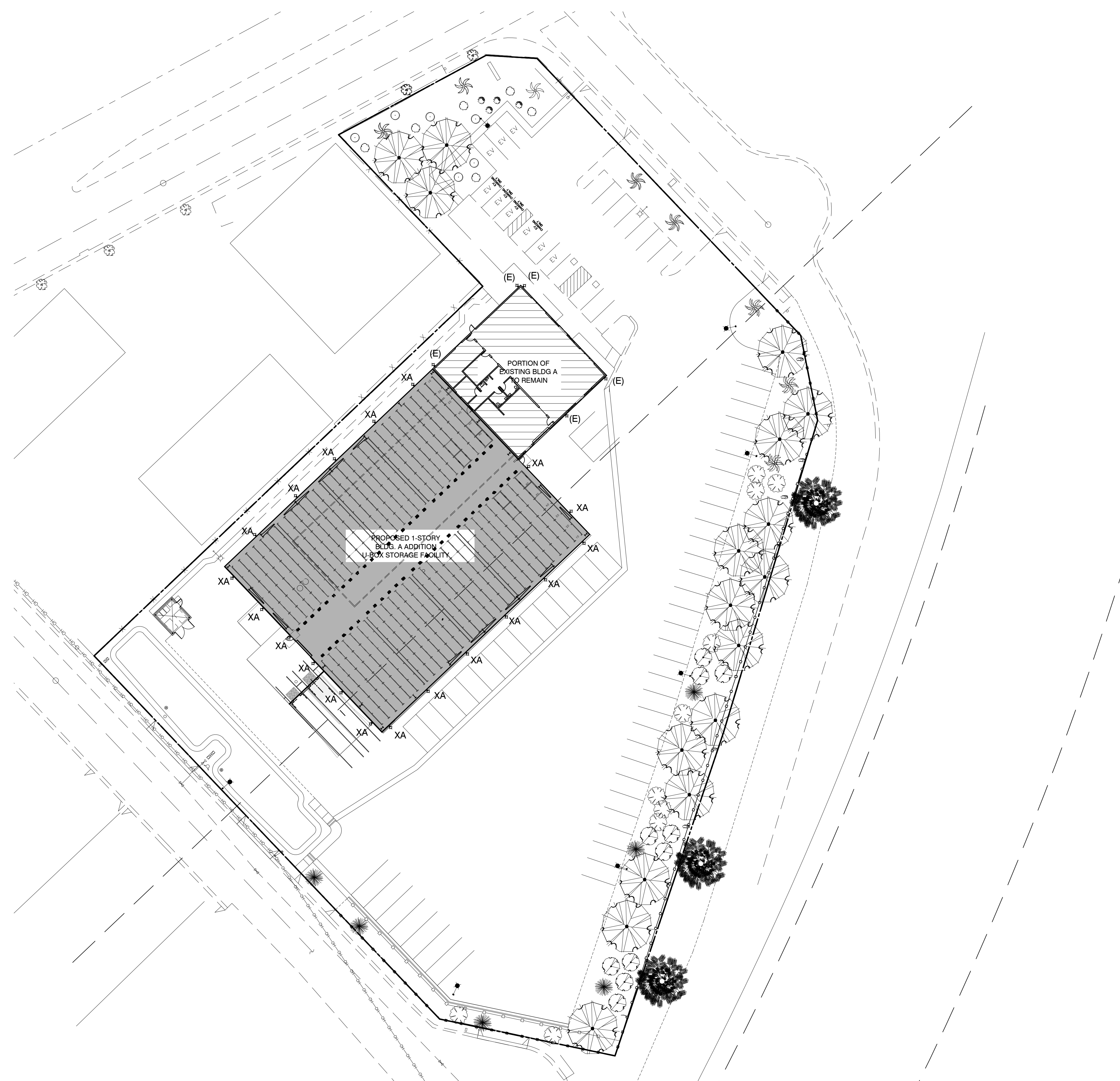


EXISTING POLE LIGHT

## THE PAUL DAVIS PARTNERSHIP

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286 Eldorado Street  
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EMAIL: info@pauldavispartnership.com



**WDGE2 LED**  
Architectural Wall Sconce  
Precision Refractive Optic

**Specifications**

Depth (D1): 7"  
Depth (D2): 1.5"  
Height: 9"  
Width: 11.5"  
Weight (without options): 13.5 lbs

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens providing a true site-wide solution. Embedded with rLight™ AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Catalog Number

Notes

Type: **XA**

Hit the Tab key to mouse over the page to see all interactive elements.

WDGE LED Family Overview											
Luminaire	Optics	Standard EM, 0°C	Cold EM, 20°C	Sensor	Approximate Lumens (4000K, 100CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W	18W	—	750	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / rLight	—	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	Precision Refractive	10W	18W	Standalone / rLight	700	1,200	2,000	3,200	4,200	—	—
WDGE3 LED	Precision Refractive	15W	18W	Standalone / rLight	—	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	Precision Refractive	—	—	Standalone / rLight	—	12,000	16,000	18,000	20,000	22,000	25,000

**Ordering Information** **EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD**

Series	Package	Color Temperature	CEI	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WDGE2 LED	P0†	27K / 2700K	70CRI*	T1S Type I Short	MVOLT	SRM	Surface mounting bracket	AW5 3/8" x 3/8" Architectural wall spacer
	P1†	30K / 3000K	80CRI	T2M Type II Medium	347†	ICW	Surface mounting back box (top, left, right, conduit entry). Use when there is no junction box available.	PBBW 5 surface-mounted back box (top, left, right, conduit entry). Use when there is no junction box available.
	P2†	40K / 4000K	LWF Limited Wavelength	T3M Type III Medium	480†	ICW	Indirect Canopy/Ceiling Wall/Track (dry/damp locations only)	
	P3†	50K / 5000K	AWB Amber	T4M Type IV Medium				

Options	Standalone Sensors/Controls	Networked Sensors/Controls	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAE/DBS (10W, 3°C min)	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk-to-dawn switching.	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk-to-dawn switching.	DDBXD Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAE/DBS (18W, 20°C min)	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk-to-dawn switching.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk-to-dawn switching.	DDBXD Black
P1† Photocell, Button type	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Natural aluminum
DAG† 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD White
KCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Sandstone
BAA Buy America/Act Compliant	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Textured dark bronze
	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Textured black
	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Textured natural aluminum
	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Textured white
	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	PIR Bi-level (100/50%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk-to-dawn operation.	DDBXD Textured sandstone

**LITHONIA LIGHTING** COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com

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Drawn By: AP/AC

Drawing Date: 08.29.2023

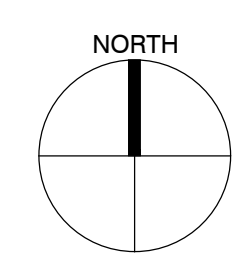
Project Number: 2226

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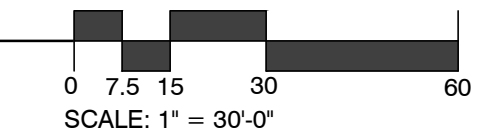
### SITE LIGHTING PLAN

Sheet Number:



## EXISTING & PROPOSED SITE LIGHTING PLAN

SCALE: 1" = 30'-0"



A1.2



Project / Owner:

### Avila U-Haul

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MONTEREY, CA 93940

APN.: 013-045-035-000

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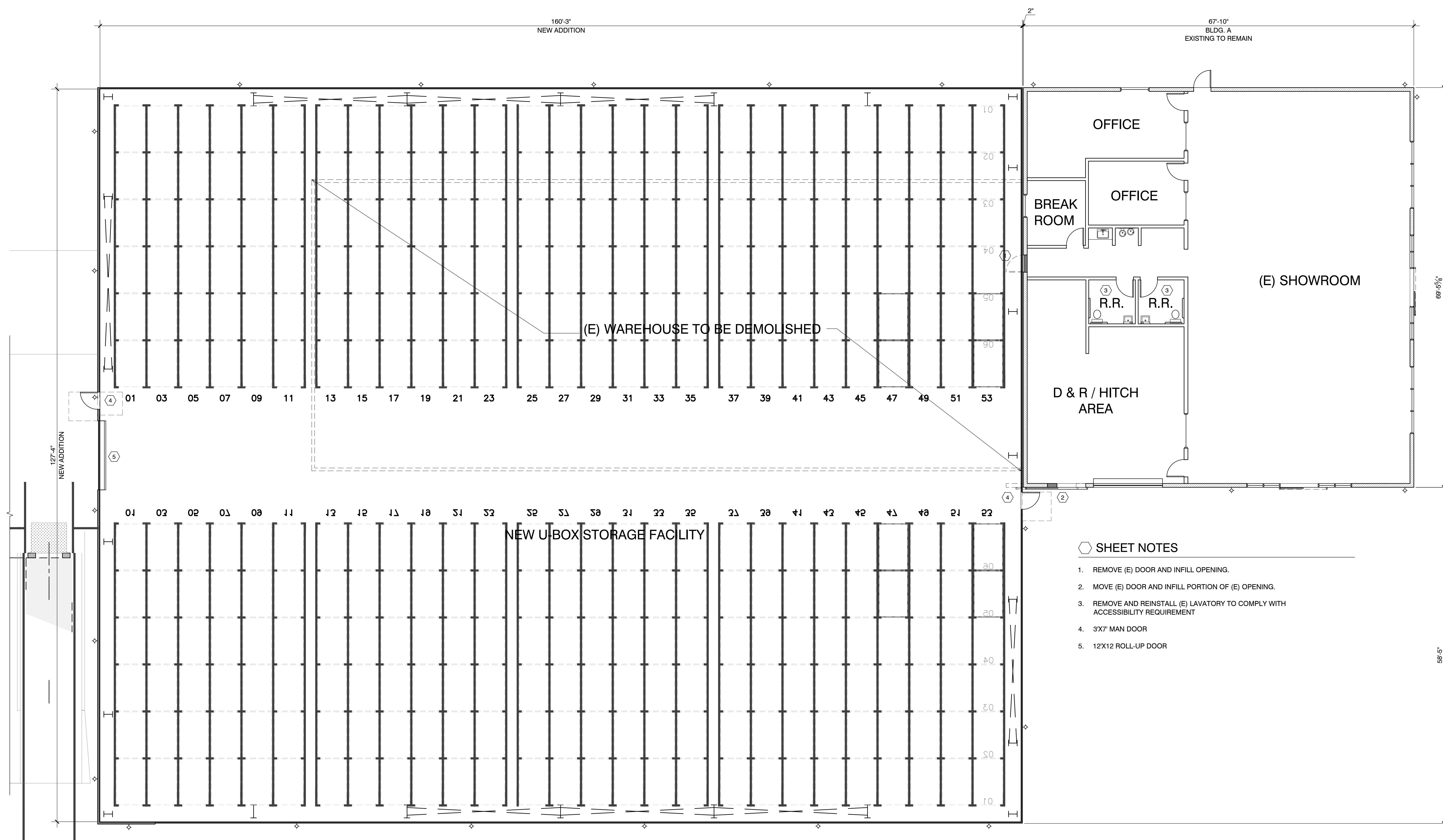
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Drawing Date: 07.07.2023  
Project Number: 2226

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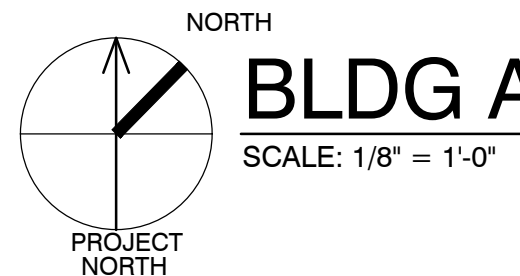
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Sheet Number:

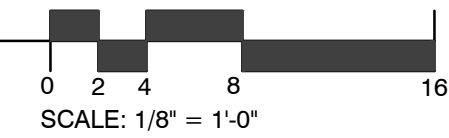


#### SHEET NOTES

1. REMOVE (E) DOOR AND INFILL OPENING.
2. MOVE (E) DOOR AND INFILL PORTION OF (E) OPENING.
3. REMOVE AND REINSTALL (E) LAVATORY TO COMPLY WITH ACCESSIBILITY REQUIREMENT
4. 3'X7' MAN DOOR
5. 12'X12 ROLL-UP DOOR



## BLDG A - EXISTING, DEMO PLAN, & ADDITION



# A2.1

Z:\Projects\Projects\_2020\2226\_Avila U-Haul Monterey\Plan\_Sheet\A2.1.dwg, 7/7/2023 10:51:44 AM, avila

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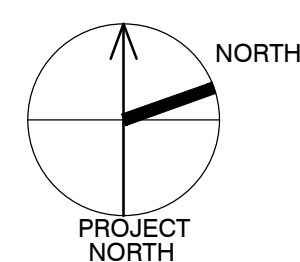
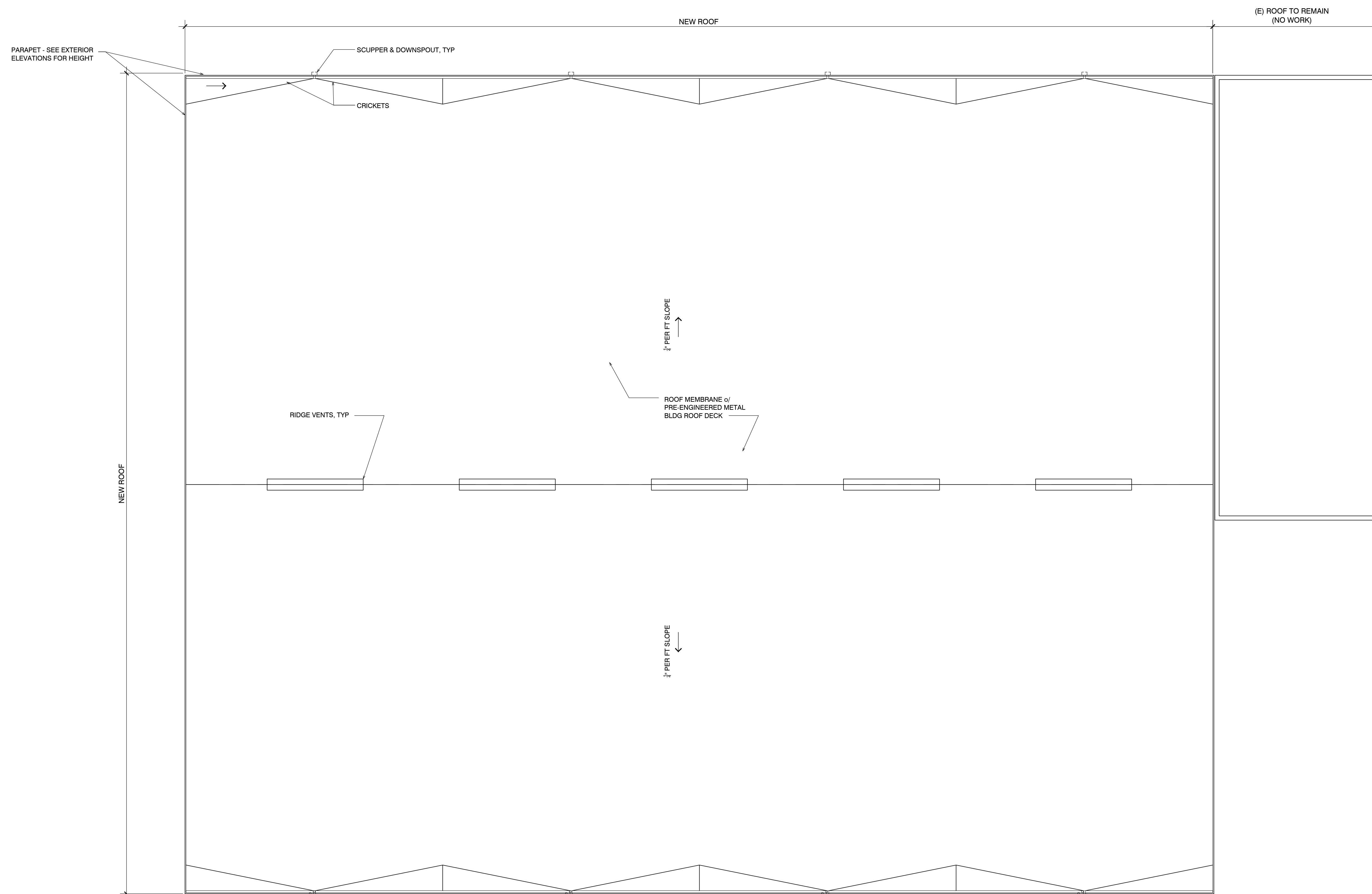
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Drawing Date: 07.07.2023  
Project Number: 2226

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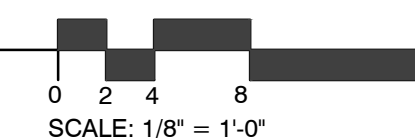
Sheet Title:  
**BLDG. A - ROOF  
PLAN ADDITION**

Sheet Number:



## BLDG A - PROPOSED ROOF PLAN ADDITION

SCALE: 1/8" = 1'-0"



# A2.2

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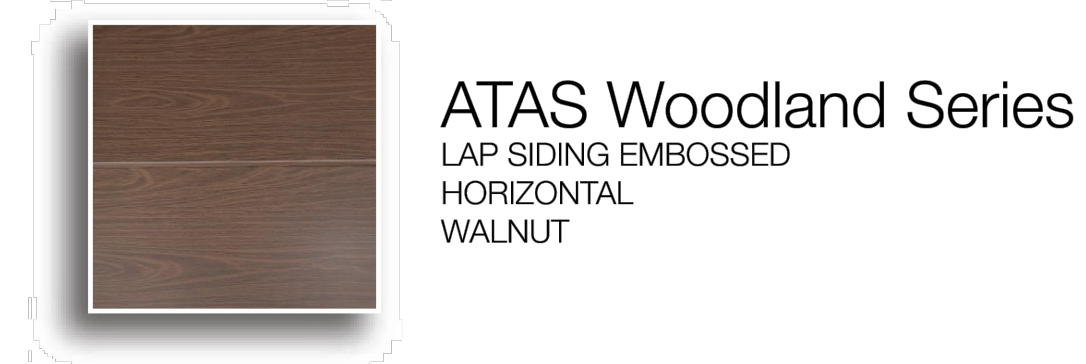
PROJECT OWNER:  
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CONTACT: KATHRYN AVILA

### MATERIALS AND COLORS



ATAS Isoleren  
STUCCO EMBOSSED



ATAS Woodland Series  
LAP SIDING EMBOSSED  
HORIZONTAL  
WALNUT

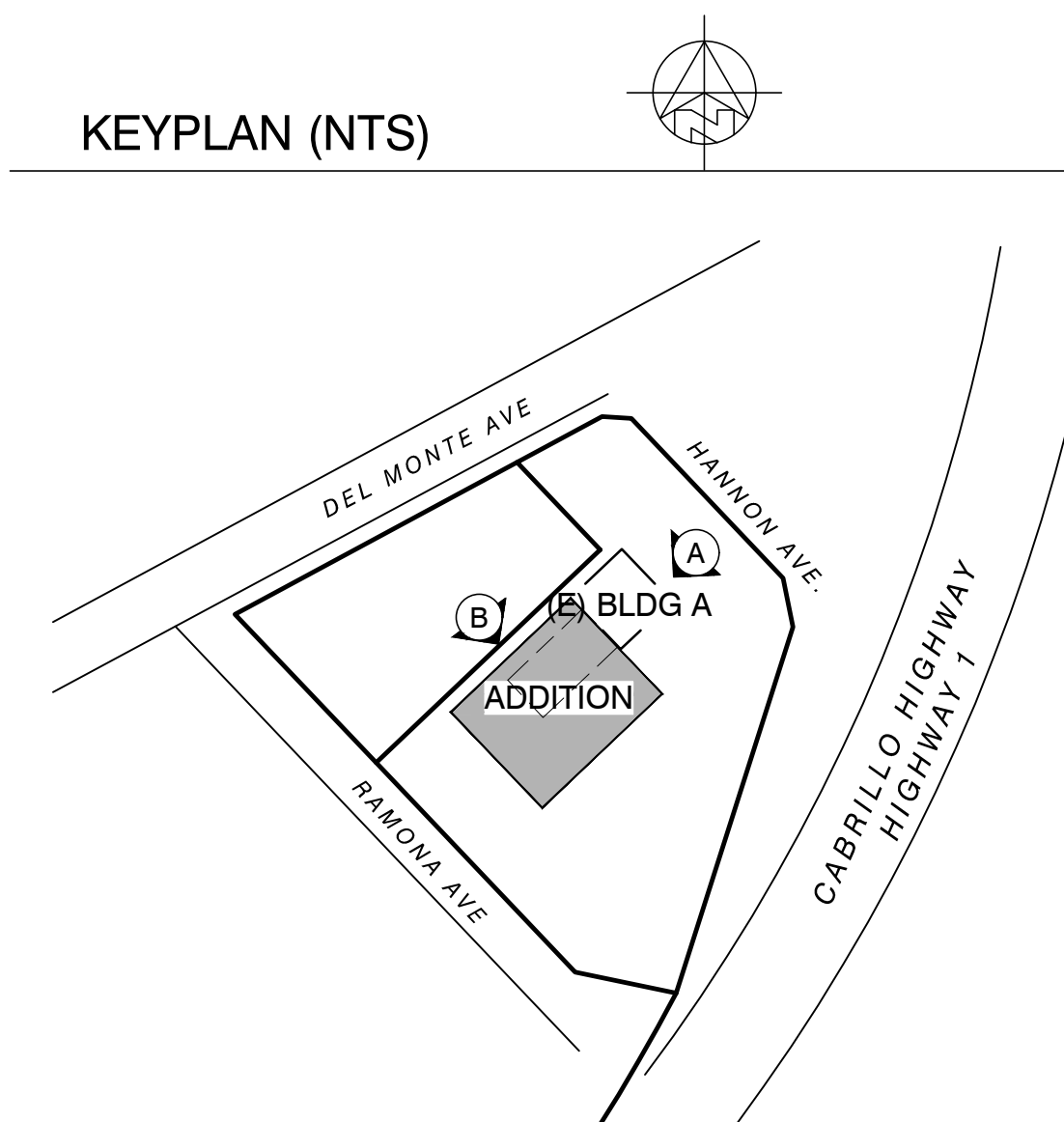
### 6"D Metal Accent Fins



### SHEET NOTES

1. VERTICAL INSULATED METAL PANELS, STUCCO EMBOSSED. COLOR: WARM WHITE
2. WOOD-LOOK ACCENT, MATERIAL TBD. COLOR: WALNUT
3. PARAPET CAP. COLOR: CHOCOLATE BROWN
4. PARAPET CAP. COLOR: SW6767 AQUARIUM
5. 3'-0"x7'-0" HALF-LIT HOLLOW METAL DOOR & FRAME
6. METAL ACCENT FINs - SEE "MATERIALS & COLORS"
7. BLDG. HEIGHT LIMIT EXCEPTION SEC. 38-106 FOR PARAPET WALLS EXTENDING NOT MORE THAN 4 FT ABOVE BLDG HEIGHT LIMIT
8. METAL SCUPPER & DOWNPOUTS - PAINT TO MATCH METAL PANELS, TYP.
9. WALL LIGHT - DARK SKY COMPLIANT AND FULLY SHIELDED AND DOWN-LIT. 8'-0" AFF

### KEYPLAN (NTS)



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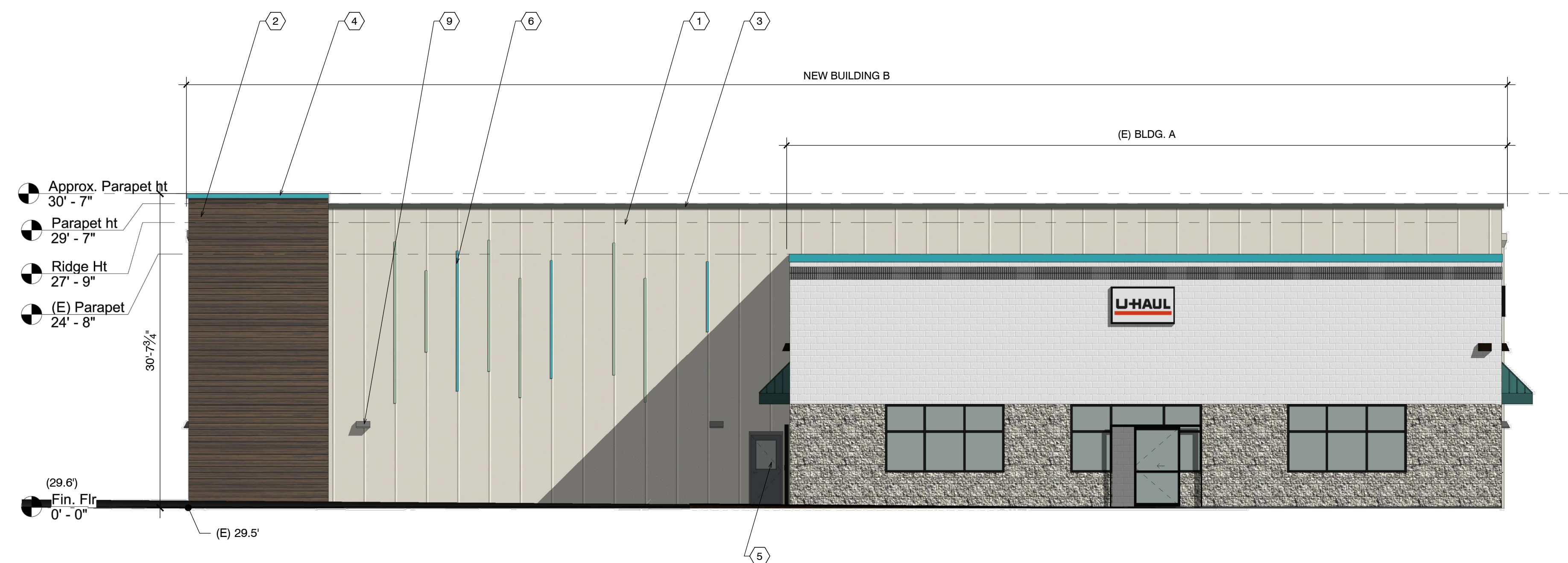
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Drawing Date: 07.07.2023  
Project Number: 2226

Revisions:

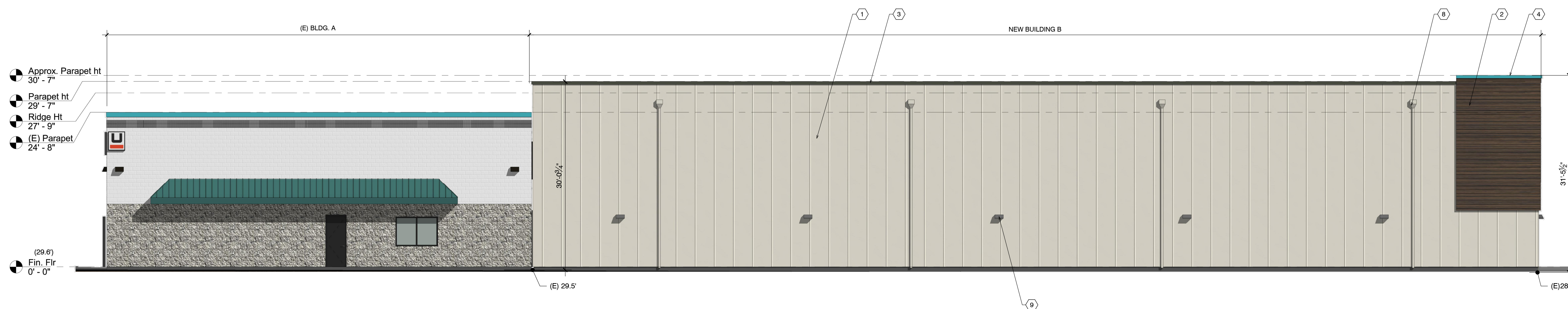
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Sheet Title:  
**BLDG. A - EXTERIOR ELEVATION ADDITION**

Sheet Number:



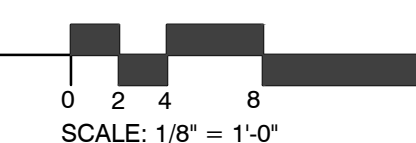
**A** NORTHEAST



**B** NORTHWEST

## BLDG A - EXTERIOR ELEVATION ADDITION

SCALE: 1/8" = 1'-0"



A3.1

MATERIALS AND COLORS



6"D Metal Accent Fins



SHEET NOTES

- VERTICAL INSULATED METAL PANELS, STUCCO EMBOSSED. COLOR: WARM WHITE
- WALL LIGHT - DARK SKY COMPLIANT AND FULLY SHIELDED AND DOWN-LIT. 8'-0" AFF.
- WOOD-LOOK ACCENT, MATERIAL TBD. COLOR: WALNUT
- PARAPET CAP. COLOR: CHOCOLATE BROWN
- PARAPET CAP. COLOR: SW6767 AQUARIUM
- 3'-0" x 7'-0" HALF-LITE HOLLOW METAL DOOR & FRAME
- METAL ACCENT FINIS - SEE "MATERIALS & COLORS"
- ROOF MEMBRANE o/ METAL ROOF DECK w/ 1/4" PER FOOT SLOPE - BEHIND PARAPET
- BLDG. HEIGHT LIMIT EXCEPTION SEC. 38-106 FOR PARAPET WALLS EXTENDING NOT MORE THAN 4 FT ABOVE BLDG HEIGHT LIMIT
- 12'-0" x 12'-0" METAL ROLL-UP DOOR w/ GLAZING
- SHIFT (E) SLIDING DOOR WHERE SHOWN
- METAL SCUPPER & DOWNPOUTS - PAINT TO MATCH METAL PANEL, TYP.

Project / Owner:

Avila U-Haul

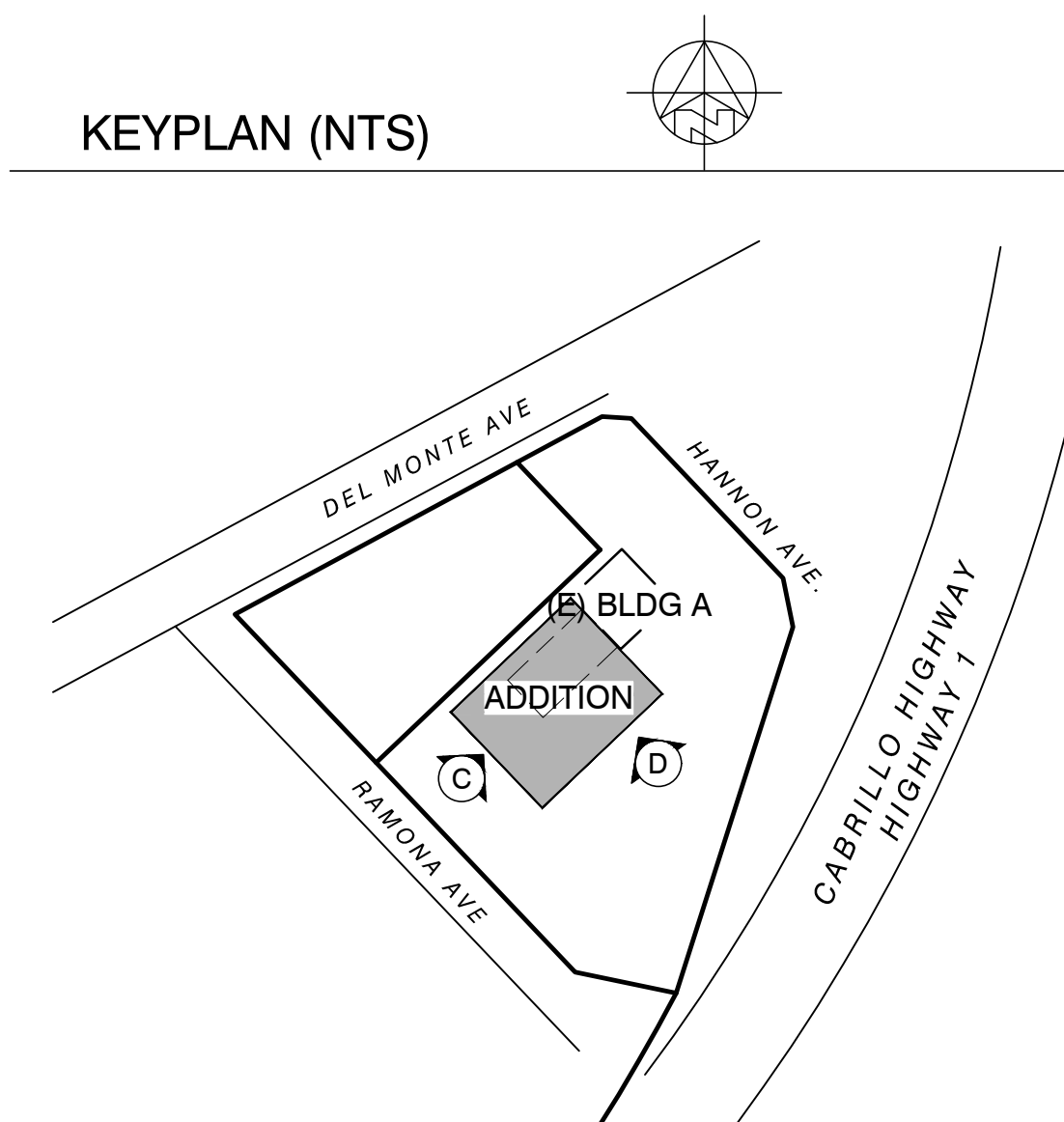
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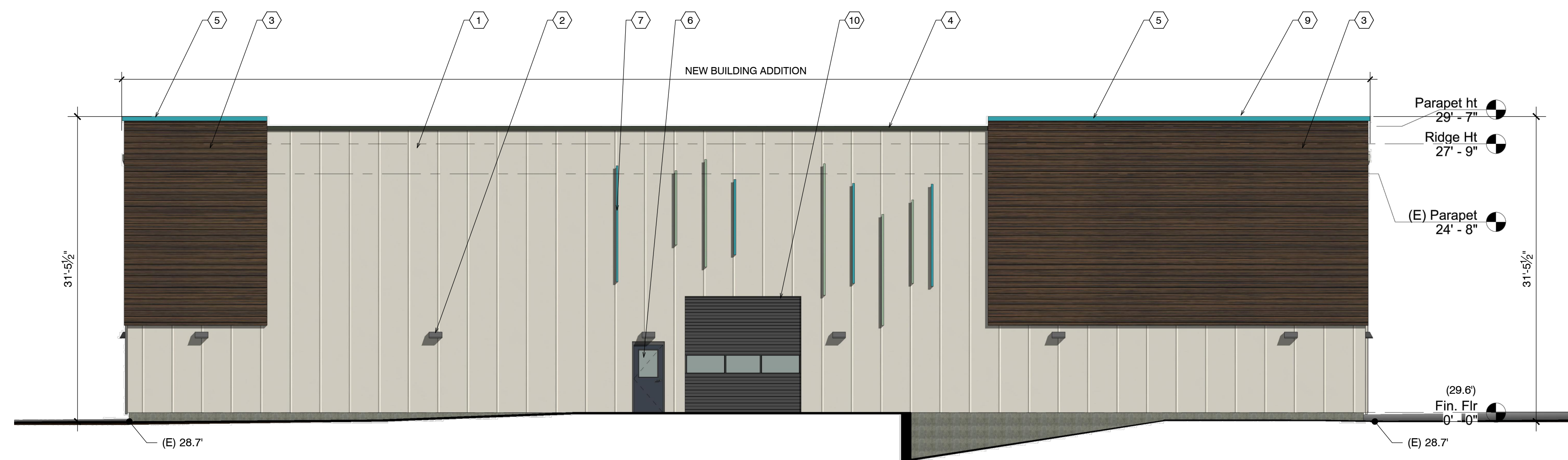
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KEYPLAN (NTS)

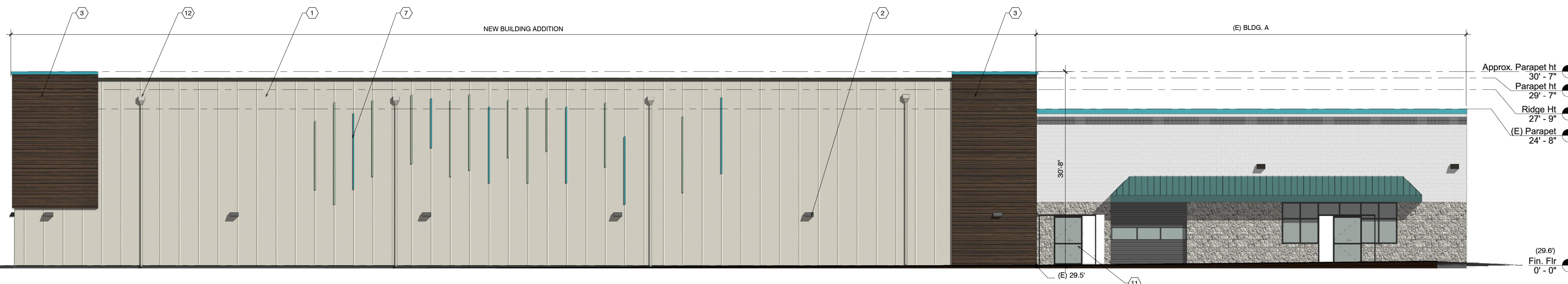


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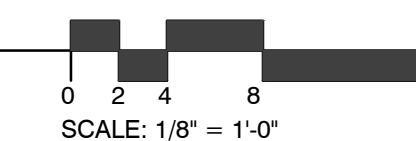
C SOUTHWEST



D SOUTHEAST

BLDG A - EXTERIOR ELEVATION ADDITION

SCALE: 1/8" = 1'-0"



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Drawing Date: 07.07.2023  
Project Number: 2226

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Sheet Title:  
BLDG. A -  
EXTERIOR  
ELEVATION  
ADDITION

Sheet Number:

Project / Owner:

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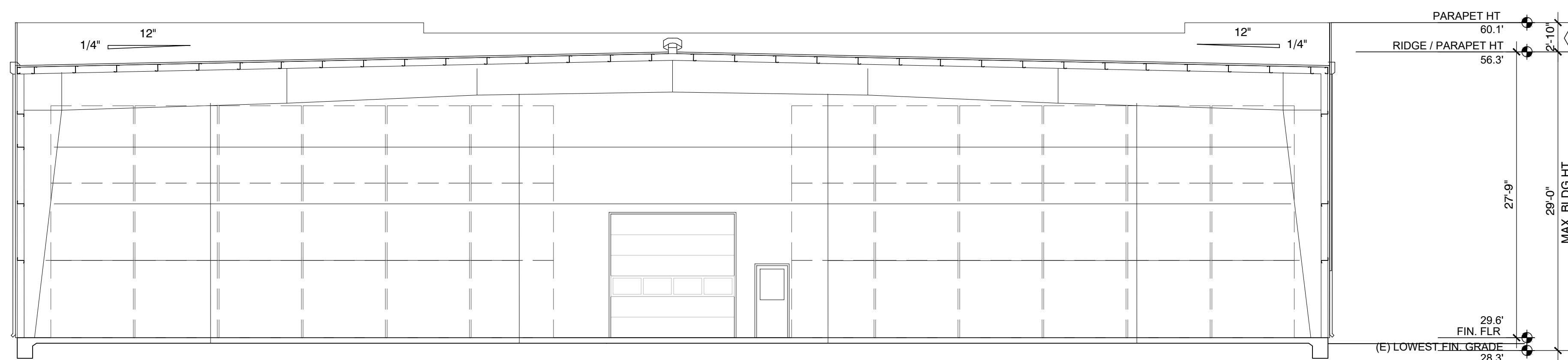
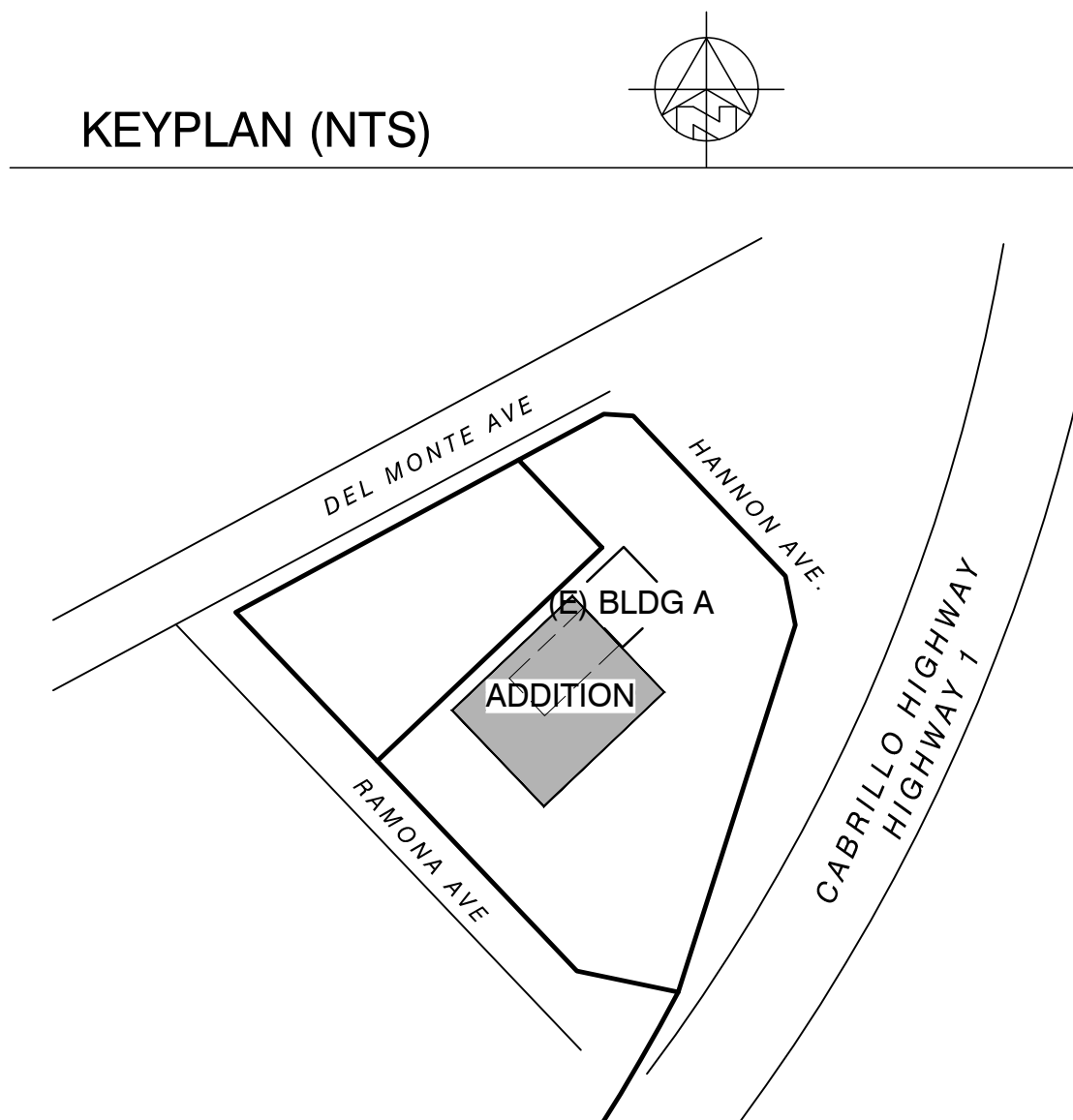
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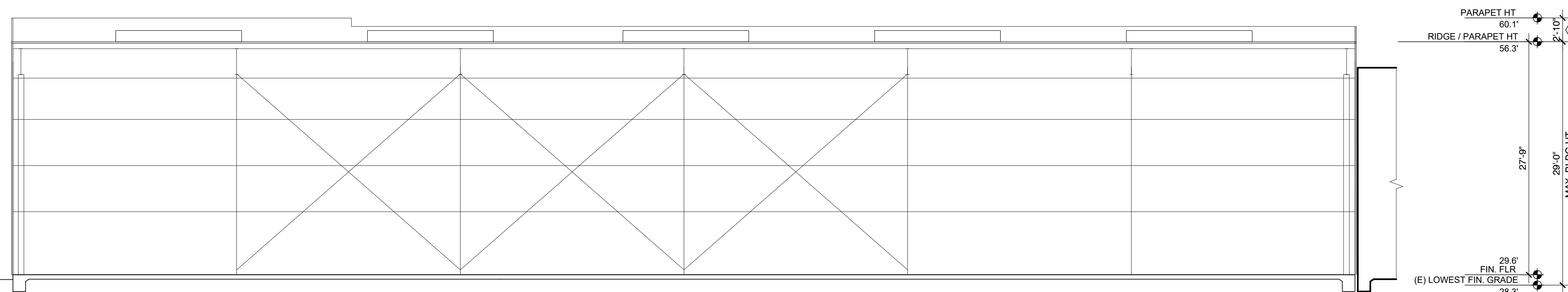
### SHEET NOTES

- BLDG. HEIGHT LIMIT EXCEPTION SEC. 38-106 FOR PARAPET WALLS EXTENDING NOT MORE THAN 4 FT ABOVE BLDG HEIGHT LIMIT

### KEYPLAN (NTS)



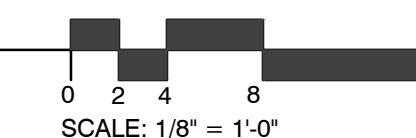
**A** CROSS SECTION



**B** LONGITUDINAL SECTION

### BLDG A - SECTION ADDITION

SCALE: 1/8" = 1'-0"



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Sheet Title:  
**BLDG. A -  
BUILDING  
SECTION  
ADDITION**

Sheet Number:

Project / Owner:

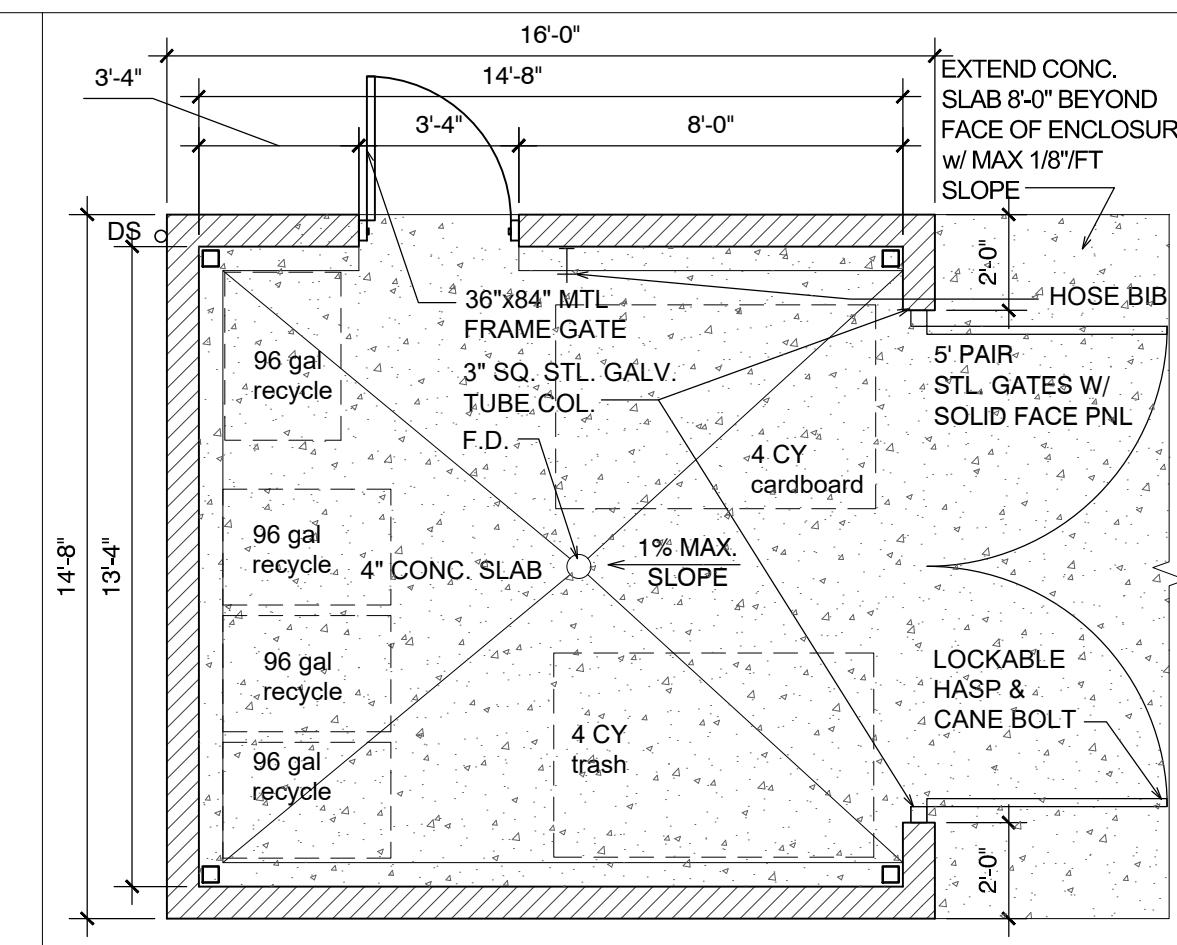
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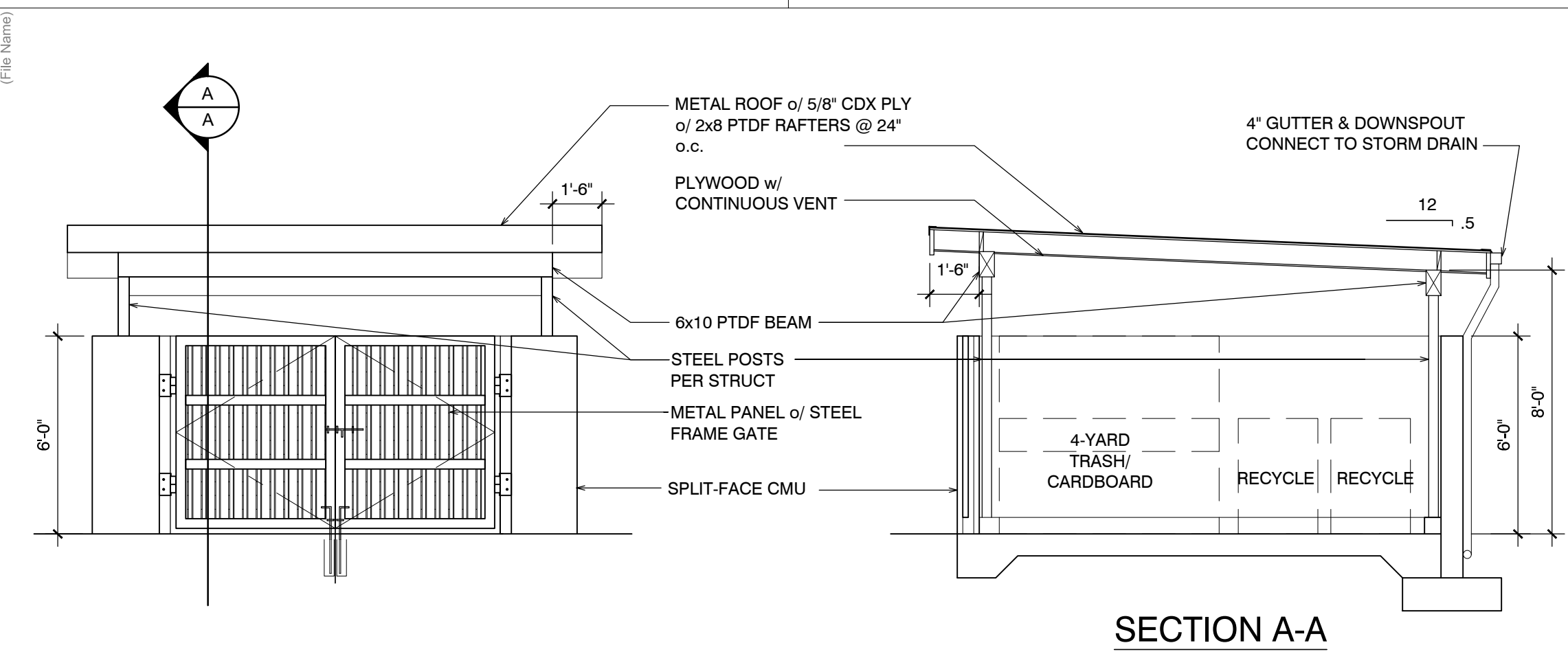
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PHOENIX, AZ 85004  
(602) 277-5901

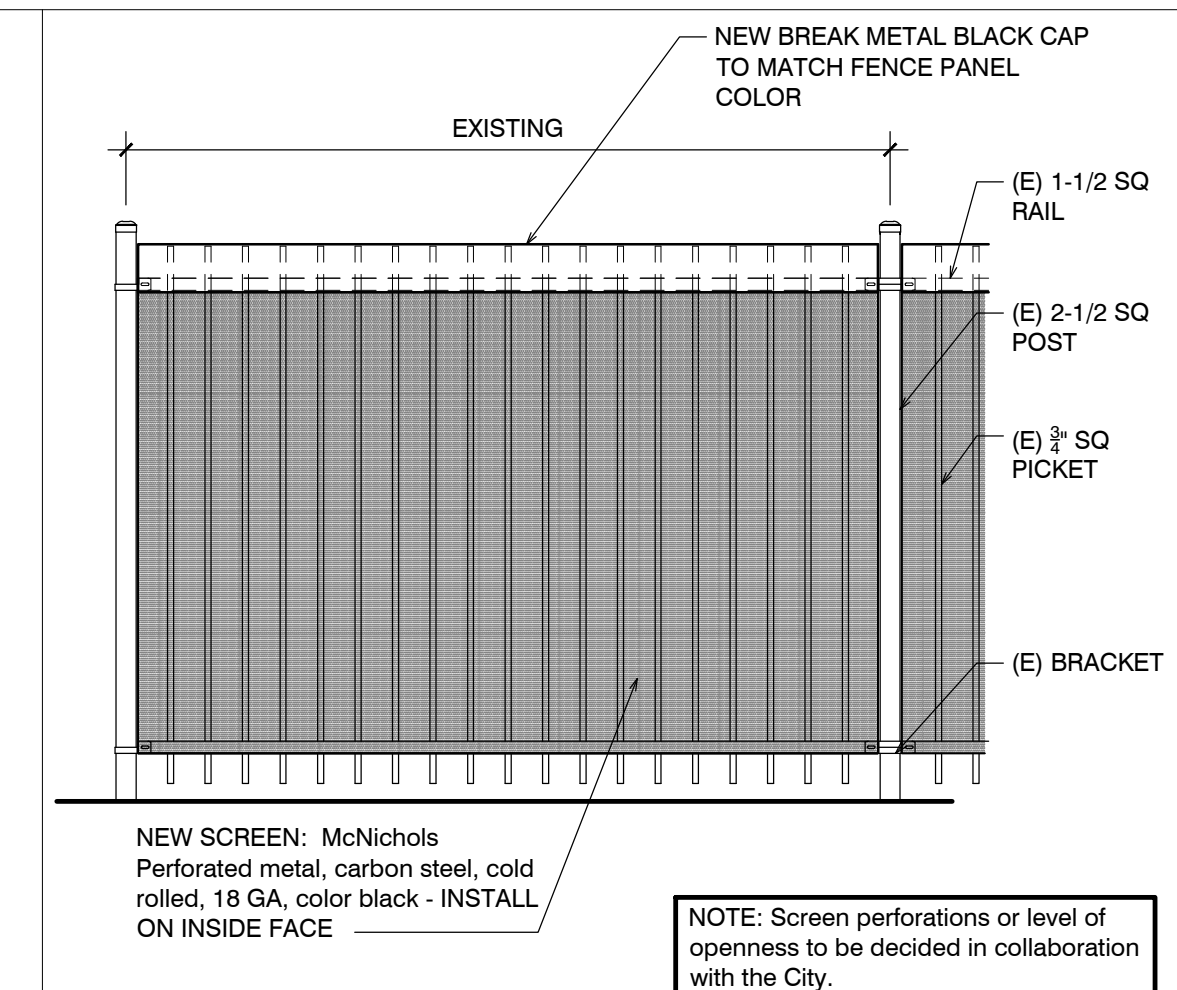
CONTRACTOR / APPLICANT:  
AVILA CONSTRUCTION COMPANY  
12 THOMAS OWENS WAY, SUITE 200  
MONTEREY, CA 93940  
(831) 373-5580 PHONE  
(831) 372-5584 FAX  
CONTACT: KATHRYN AVILA



**1 TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"



**6 TRASH ENCLOSURE - ELEVATION & SECTION**  
SCALE: 1/4" = 1'-0"



**3 EXISTING FENCE W/ PERF. SCREEN**  
SCALE: 1/4" = 1'-0"

Drawn By: AP/AC  
Drawing Date: 07.07.2023  
Project Number: 2226

Revisions:

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### SITE DETAILS

Sheet Number:

# A8.1

17

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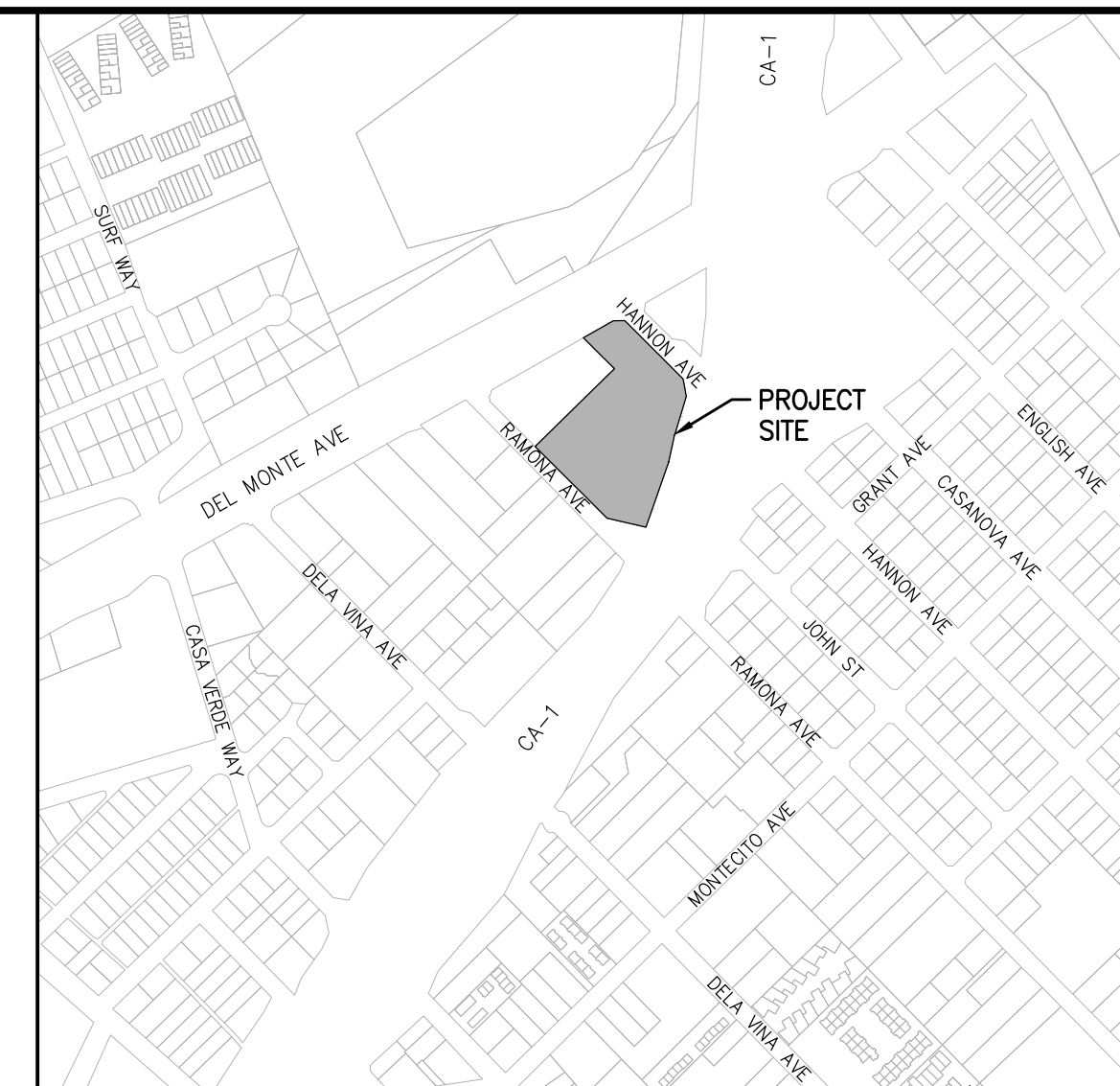
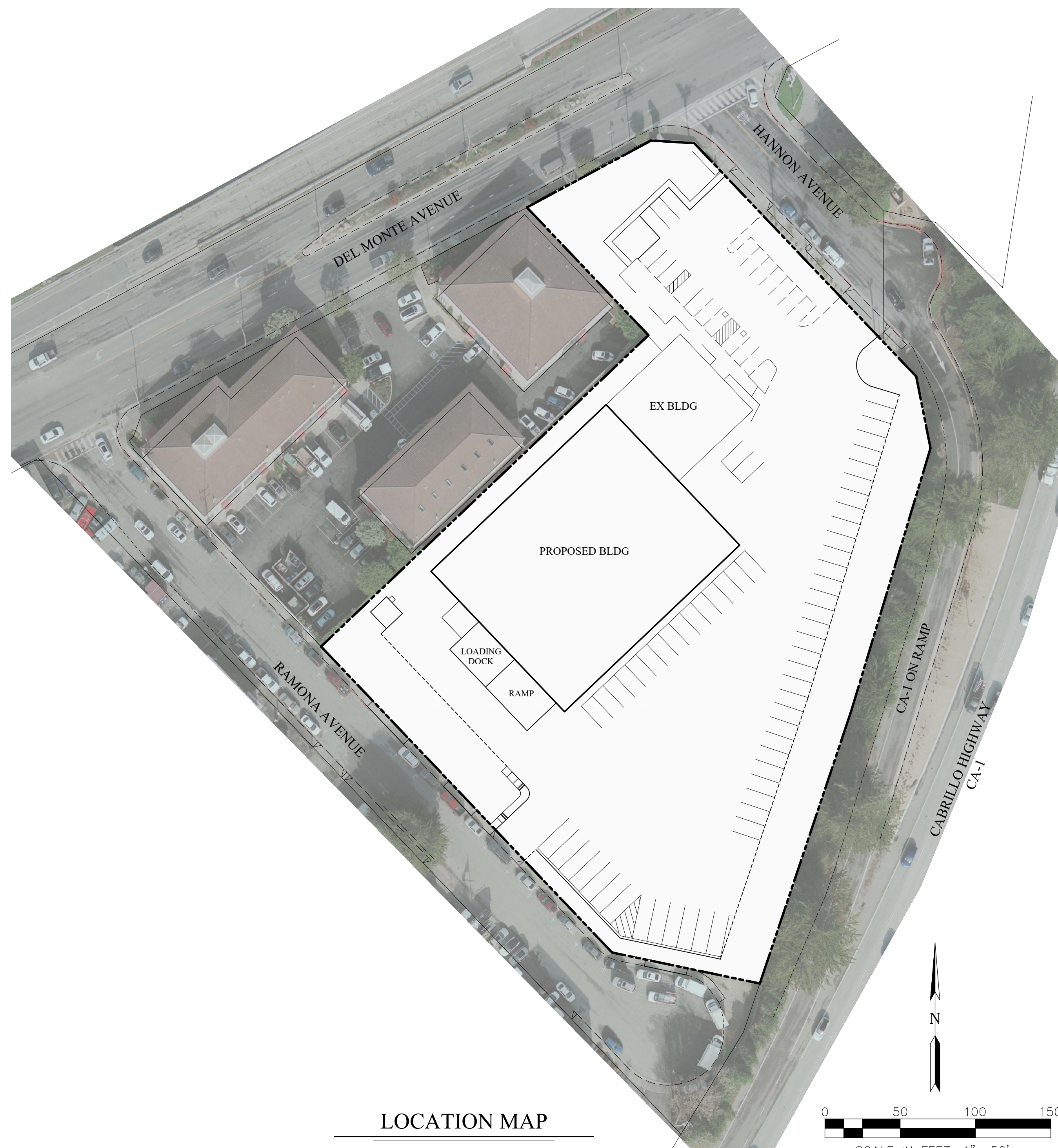
8

4

# USE PERMIT U-HAUL MONTEREY CITY OF MONTEREY, CALIFORNIA

PROPOSED	DESCRIPTION	EXISTING
---	PROJECT BOUNDARY	---
---	LOT LINE	---
---	CENTERLINE	---
---	SIDEWALK	---
---	STORM DRAIN	EX SD
---	SANITARY SEWER	EX SS
---	WATER	EX W
○	MANHOLE	○
□	INLET	□
●	FIRE HYDRANT	●
⊕	ELECTROLIER	⊕

ABBREVIATIONS		
BNDY	BOUNDARY	NO. NUMBER
BFP	BACK FLOW PREVENTER	N.T.S. NOT TO SCALE
CB	CATCH BASIN	PAD PAD ELEVATION
CL	CENTERLINE	PAV PAVEMENT
DWY	DRIVEWAY	PL or P PROPERTY LINE
ELECT	ELECTROLIER	R RADIUS
ELEV	ELEVATION	R/W RIGHT OF WAY
EP	EDGE OF PAVEMENT	S SLOPE
EV	ELECTRIC VEHICLE	SD STORM DRAIN
EVCS	ELECTRIC VEHICLE CHARGING STATION	SDMH STORM DRAIN MANHOLE
EX	EXISTING	SS SANITARY SEWER
FC	FACE OF CURB	SSMH SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	STD STANDARD
GB	GRADE BREAK	SWK SIDEWALK
HP	HIGH POINT	TC TOP OF CURB
INV	INVERT	TYP TYPICAL
LF	LINEAR FEET	W WATER
LP	LOW POINT	
MAX	MAXIMUM	
MIN	MINIMUM	



SHEET INDEX	
SHEET NO.	TITLE
1	TITLE SHEET
2	EXISTING CONDITIONS
3	PRELIMINARY SITE PLAN
4	PRELIMINARY GRADING PLAN
5	PRELIMINARY STORMWATER CONTROL PLAN

PROJECT INFORMATION	
1. PROPERTY LOCATION:	2330 DEL MONTE AVENUE, MONTEREY, CA 93940
2. ASSESSOR PARCEL NUMBER:	013-045-035
3. PRESENT LAND USE:	COMMERCIAL
4. THIS PROJECT IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD ZONE 'X' PER FLOOD INSURANCE RATE MAPS NO. 06053C0326H EFFECTIVE DATE JUNE 21, 2017, WHICH ARE AREAS OUTSIDE THE SPECIAL FLOOD HAZARD AREA AND HIGHER THAN THE ELEVATION OF THE 0.2 PERCENT-ANNUAL-CHANCE FLOOD.	
5. WATER	CALIFORNIA AMERICAN WATER
6. GAS & ELECTRIC	PG&E
7. SANITARY SEWER	CITY OF MONTEREY
8. STORM DRAIN	CITY OF MONTEREY

- NOTES:**
- OFFSITE UTILITY LOCATIONS ARE APPROXIMATE AND ARE BASED OFF CITY OF MONTEREY GIS UTILITY MAPS AND AERIAL SURVEY FIELD OBSERVATIONS
  - ALL GRADES AND FINISH FLOOR ELEVATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN AND FINAL STRUCTURAL FOUNDATION DESIGN BY OTHERS.
  - EXISTING TOPOGRAPHY IS BASED ON AERIAL SURVEY AND SUPPLEMENTAL FIELD SURVEYS BY RJA, DATED JANUARY 2023
  - BOUNDARY IS RESOLVED PER FIELD SURVEY PERFORMED BY RUGGERI-JENSEN-AZAR, DATED JANUARY 6, 2023.

**OWNER:**  
OXFORD LIFE INSURANCE COMPANY

**APPLICANT:**  
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12 THOMAS OWENS WAY, STE 200  
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**CIVIL ENGINEER:**  
RUGGERI-JENSEN-AZAR  
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(408) 848-0300  
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**ARCHITECT:**  
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286 EL DORADO STREET  
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CONTACT: ANDREW PASSELL  
(831) 373-2784  
ANDREWPA@PAULDAVISPARTNERSHIP.COM

**RJA**  
**RUGGERI-JENSEN-AZAR**  
ENGINEERS • PLANNERS • SURVEYORS  
1000 CALIFORNIA STREET, SUITE 200  
MONTEREY, CA 93940  
PHONE: (408) 848-0300 FAX: (408) 848-0302

**USE PERMIT  
TITLE SHEET  
U-HAUL MONTEREY  
MONTEREY, CALIFORNIA**

FOR OXFORD LIFE INSURANCE COMPANY

DATE	BY	SCALE	AS NOTED	DATE
				MAY 2023

NOT FOR CONSTRUCTION  
2nd SUBMITTAL  
MAY 16, 2023

SHEET	1
OF 5 SHEETS	
JOB NO.	222030

**LEGEND**

- PROJECT BOUNDARY
- ABUTTER'S RIGHTS OF ACCESS RELINQUISHED
- EXISTING LOTLINE
- EXISTING EDGE OF PAVEMENT
- CENTER LINE
- SANITARY SEWER
- STORM DRAIN
- EXISTING CONTOUR
- EXISTING TREE
- PAVEMENT TO BE REMOVED

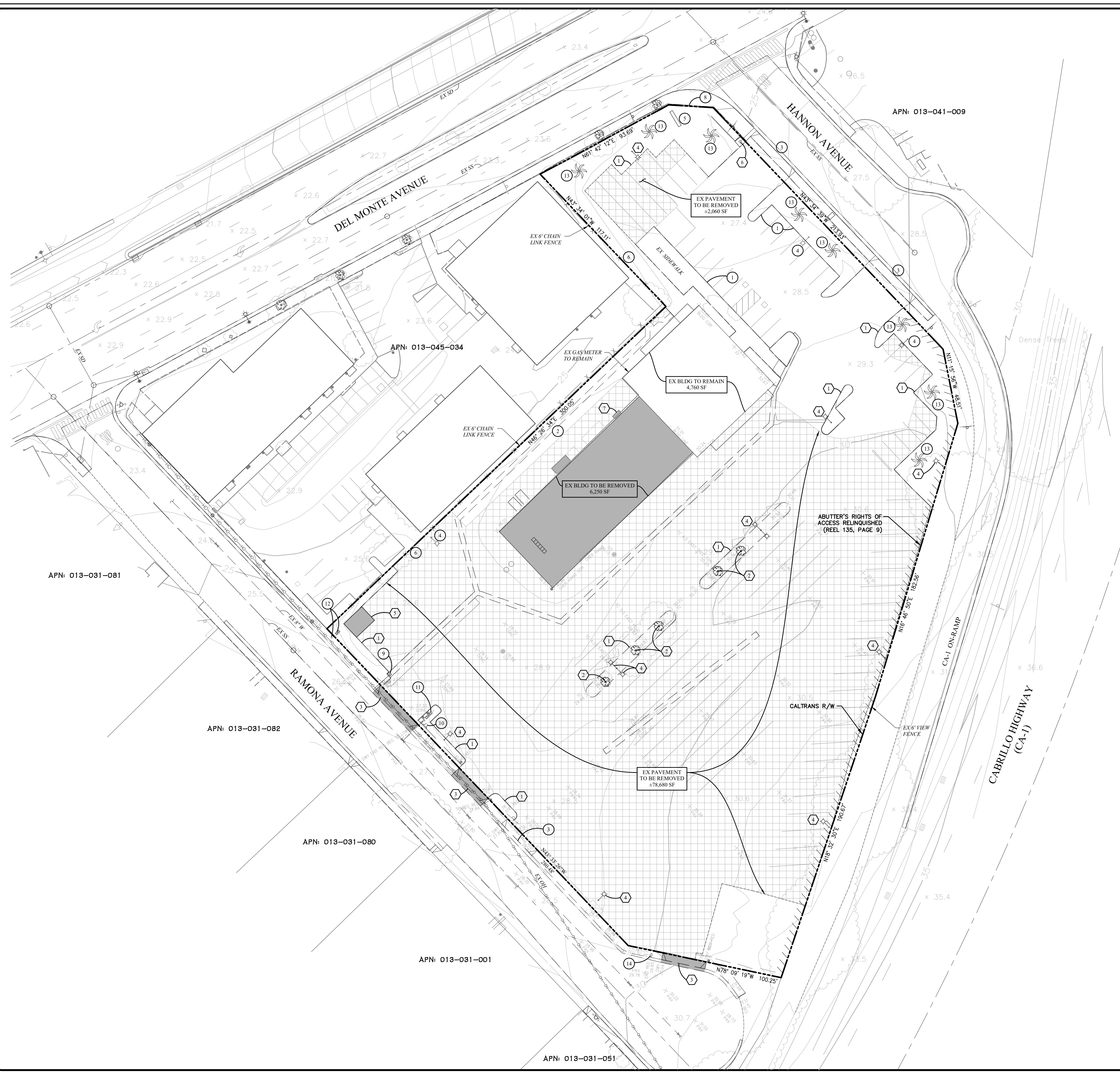
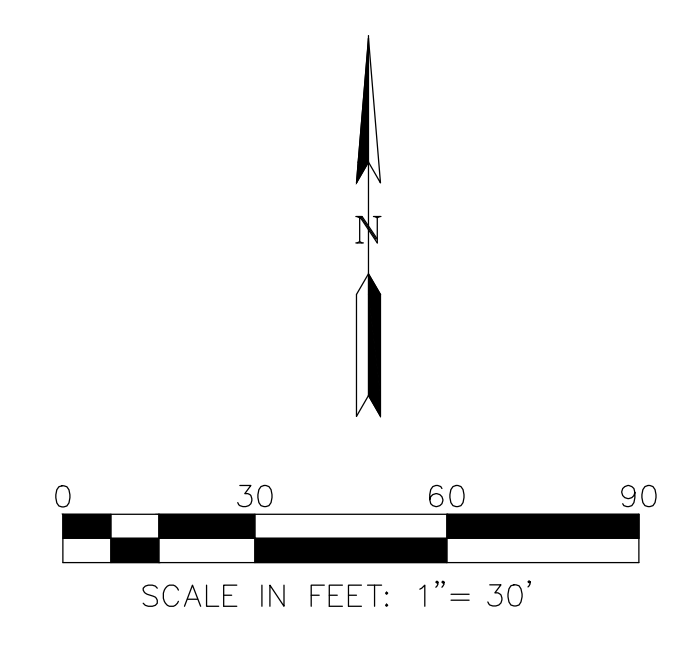
**DEMOLITION NOTES**

- ① EXISTING CURB TO BE REMOVED
- ② EXISTING TREE TO BE REMOVED
- ③ EXISTING DRIVEWAY TO BE REMOVED
- ④ EXISTING ELECTROLIER TO BE REMOVED
- ⑤ EXISTING TRASH ENCLOSURE TO BE RELOCATED
- ⑥ EXISTING SD INLET TO BE RELOCATED
- ⑦ EXISTING ELECTRICAL EQUIPMENT TO BE RELOCATED

**PRESERVATION NOTES  
(PROTECT IN PLACE)**

- ① EXISTING CURB TO REMAIN
- ② EXISTING VALLEY GUTTER TO REMAIN
- ③ EXISTING DRIVEWAY TO REMAIN
- ④ EXISTING ELECTROLIER TO REMAIN
- ⑤ EXISTING SIGN TO REMAIN
- ⑥ EXISTING FENCE TO REMAIN
- ⑦ EXISTING TRASH ENCLOSURE TO REMAIN
- ⑧ EXISTING RETAINING WALL TO REMAIN
- ⑨ EXISTING SD INLET TO REMAIN
- ⑩ EXISTING FH TO REMAIN
- ⑪ EXISTING BACK FLOW PREVENTER TO REMAIN
- ⑫ EXISTING IRRIGATION SERVICE TO REMAIN
- ⑬ EXISTING TREE TO REMAIN
- ⑭ EXISTING WATER SERVICE TO REMAIN

NOTES:  
 1. EXISTING UTILITY LOCATIONS ARE APPROXIMATE.



PLOT DATE: May 16, 2023  
 FILE PATH: W:\jobs\22\222030 - U-Haul, Monterey\Drawings\Prelim\_Applications\Use\_Permit\2 EXISTING CONDITIONS.dwg

DATE	MK	SHEET REVISIONS	SCALE	DATE
			1"=30'	MAY 2023
<b>NOT FOR CONSTRUCTION</b>				
<b>2nd SUBMITTAL</b>				
<b>MAY 16, 2023</b>				
SHEET				
<b>2</b>				
OF 5 SHEETS				
JOB NO.				
222030				



### LEGEND

	PROJECT BOUNDARY
	ABUTTER'S RIGHTS OF ACCESS RELINQUISHED
	EXISTING LOTLINE
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING TREE
	CONCRETE
	BUILDING
	LANDSCAPE
	STORMWATER TREATMENT FACILITY

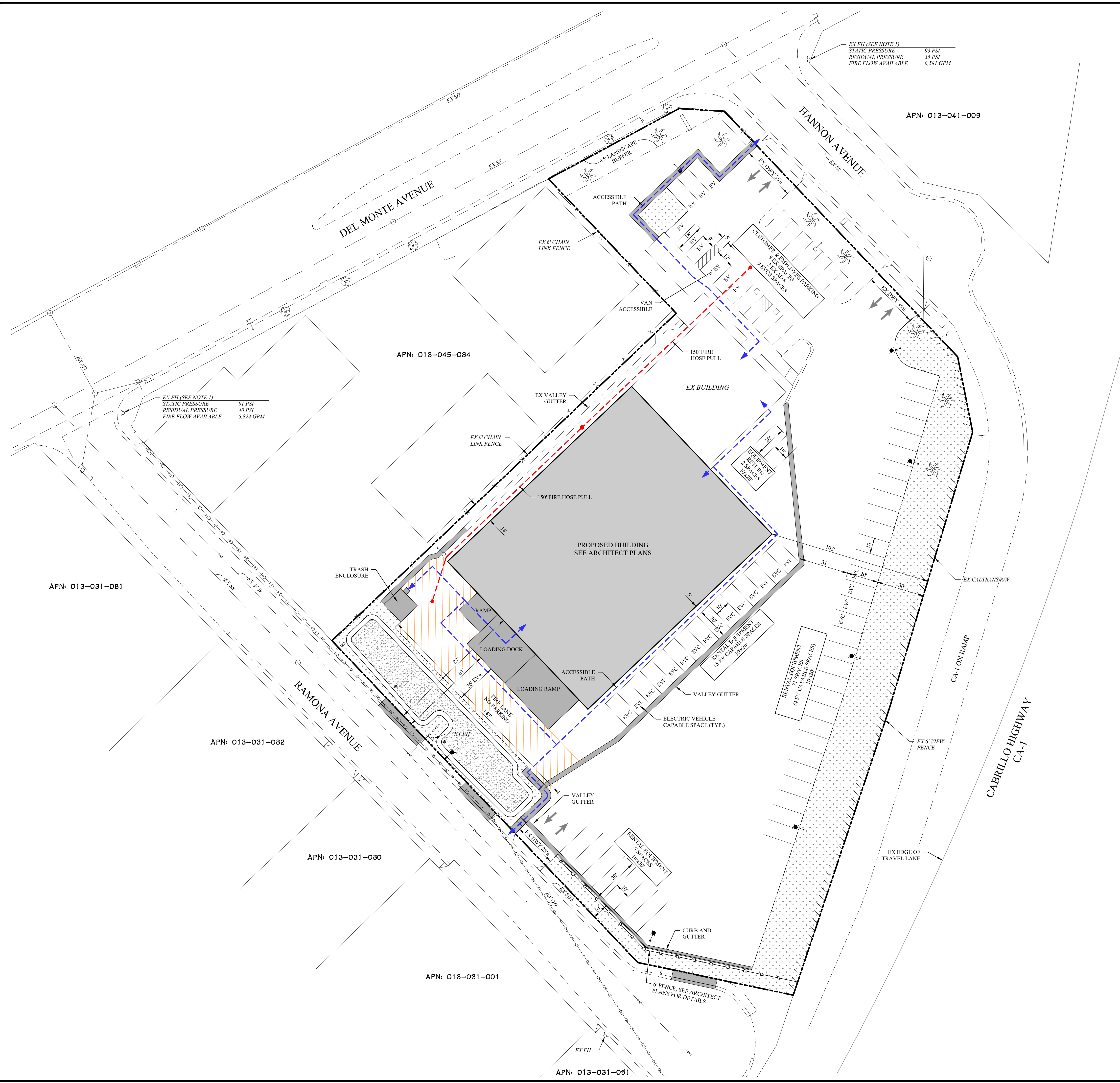
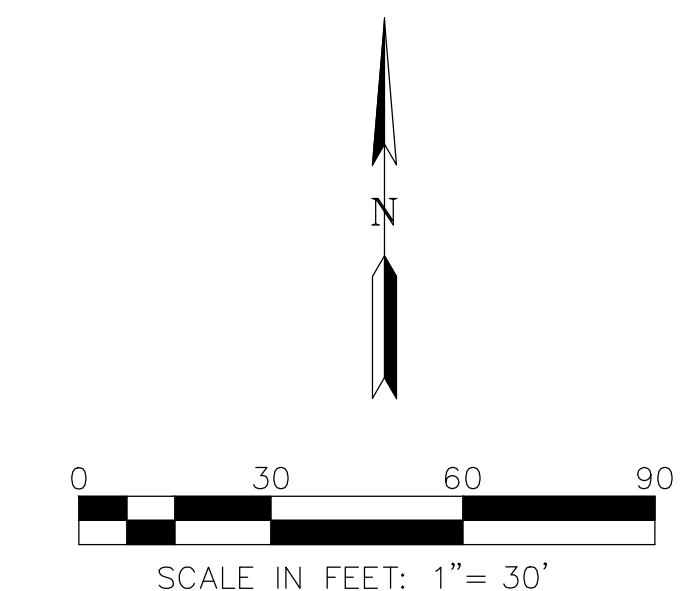
NOTES:  
 1. FIRE HYDRANT FLOW DATA INFORMATION PROVIDED BY CALIFORNIA AMERICAN WATER, DATED MAY 9, 2023.

#### REQUIRED PARKING

USE	STANDARD	REQUIRED PARKING
PROPOSED WAREHOUSE	1 PER 2,500 SF	20,708 SF/2,500 = 8 SPACES
EX SALES AREA	1 PER 500 SF	3,888 SF/500 = 8 SPACES
EX VEHICLE/EQUIPMENT REPAIR	1 PER 400 SF	872 SF/400 = 2 SPACES
		TOTAL REQUIRED = 18 SPACES

#### PROVIDED PARKING

USE	SIZE	SPACES
EMPLOYEE & CUSTOMER	9'X18'	9
ACCESSIBLE PARKING	9'X18'	2
EVCS PARKING	9'X18'	2
ACCESSIBLE EVCS PARKING	9'X18'	1
VAN ACCESSIBLE EVCS PARKING	12'X18'	1
		SPACES PROVIDED = 20
RENTAL EQUIPMENT PARKING	10'X20'	48 (19 EV CAPABLE SPACES)
RENTAL EQUIPMENT PARKING	10'X30'	7
		SPACES PROVIDED = 55



PLOT DATE: August 29, 2023  
 FILE PATH: W:\Jobs\22\_222030 - U-Haul, Monterey\Drawings\Prelim Applications\Use Permit\3 PRELIMINARY SITE PLAN.dwg

DATE	DATE	SCALE	DATE
		1"=30'	AUG 2023
<b>NOT FOR CONSTRUCTION</b>			
<b>3rd SUBMITTAL</b>			
<b>AUGUST 29, 2023</b>			
SHEET			
<b>3</b>			
OF 5 SHEETS			
JOB NO. 222030			

**LEGEND**

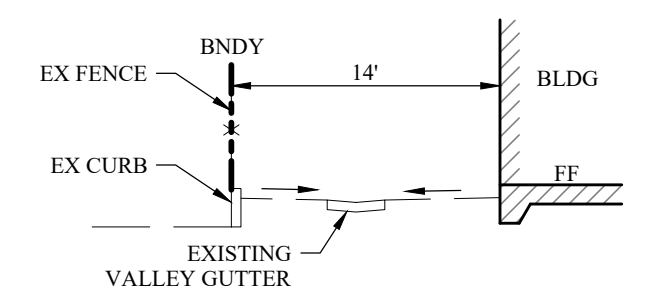
- PROJECT BOUNDARY
- - - EX LOTLINE
- - - EX EDGE OF PAVEMENT
- - - EX CENTER LINE
- - - EX SANITARY SEWER
- - - EX STORM DRAIN
- POTENTIAL AREAS OF SLOPE GREATER THAN 25%
- - - EX CONTOUR
- OR EX TREE
- x 259.5 SPOT ELEVATION
- 1.5% SLOPE
- ~ SWALE

**GRADING NOTES:**

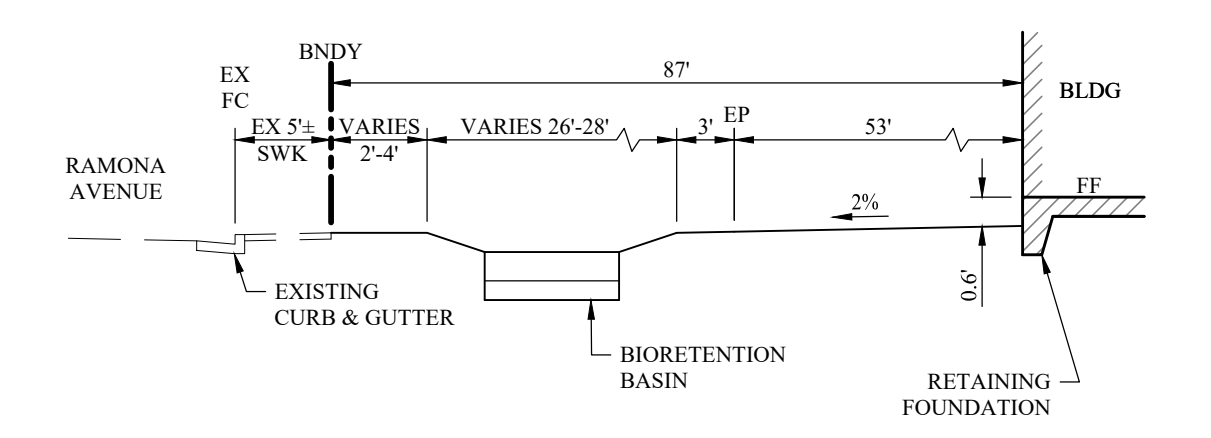
1. ALL PROPOSED GRADES ARE PRELIMINARY AND SUBJECT TO REFINEMENT DURING FINAL DESIGN.
2. SEE SHEET 5 FOR STORM WATER MANAGEMENT FACILITIES DETAILS.
3. ELEVATIONS ARE SUBJECT TO CHANGE DURING FINAL DESIGN BASED ON FINAL STRUCTURAL ENGINEERING CALCULATIONS AND FOUNDATION DETAILS.
4. SLOPES NOT TO EXCEED 3H:1V.
5. EARTHWORK QUANTITIES ARE PRELIMINARY AND ARE SUBJECT TO REFINEMENT DURING FINAL DESIGN.
6. EXISTING PAVEMENT SECTION IS INCLUDED IN EARTHWORK QUANTITY ESTIMATE.

**EARTHWORK SUMMARY**

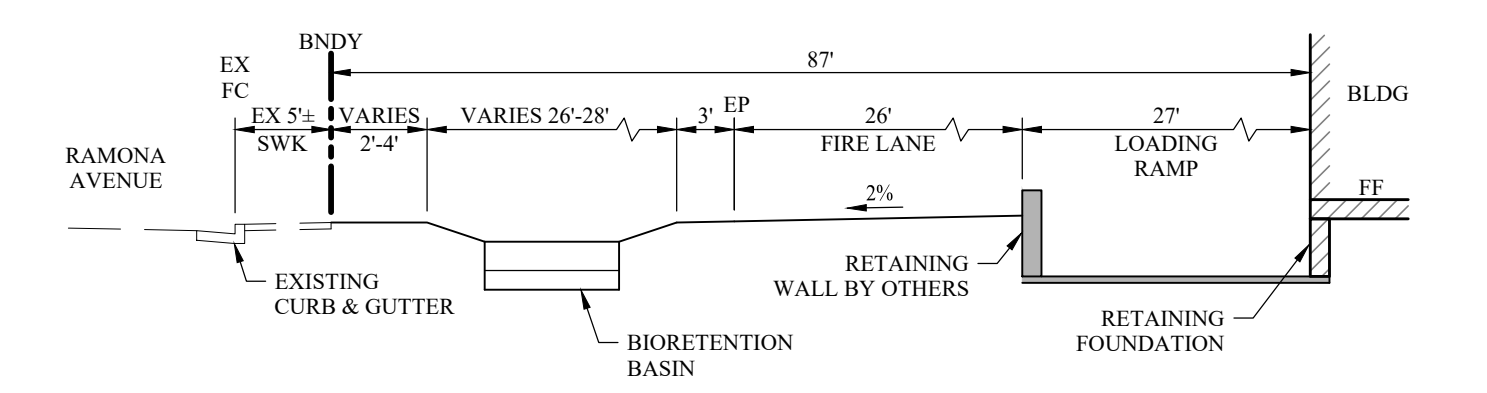
ITEM	QUANTITY
SITE CUT	1,300± CY
SITE FILL	840± CY
NET EXPORT	460± CY



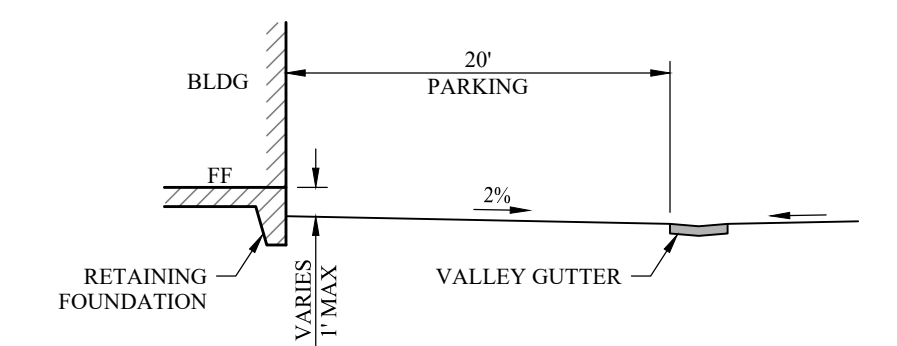
**GRADING SECTION A**



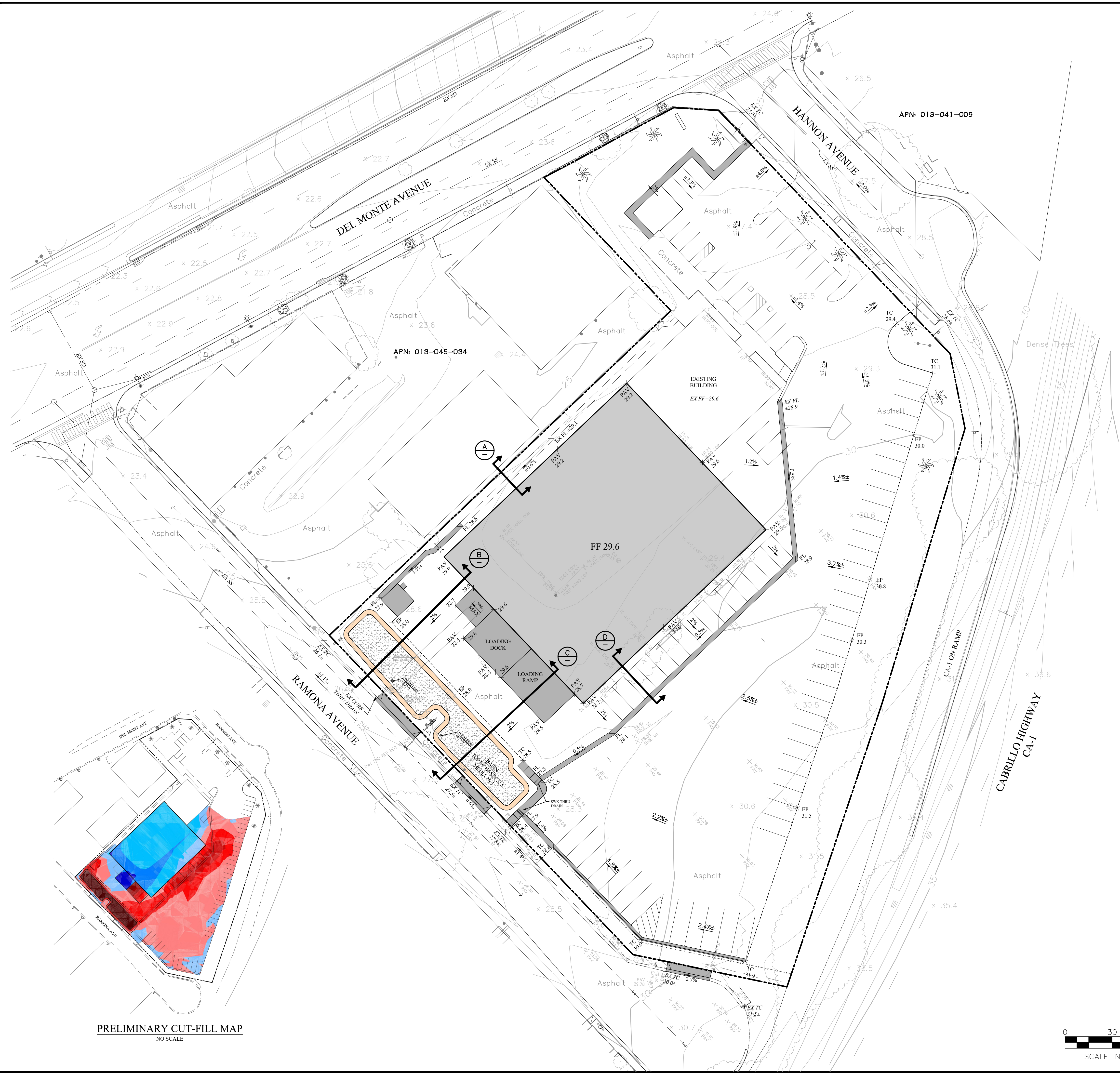
**GRADING SECTION B**



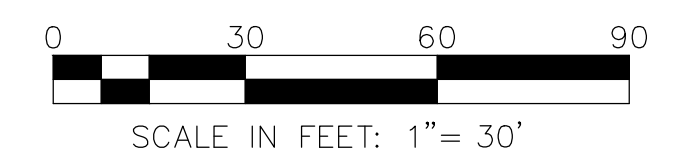
**GRADING SECTION C**



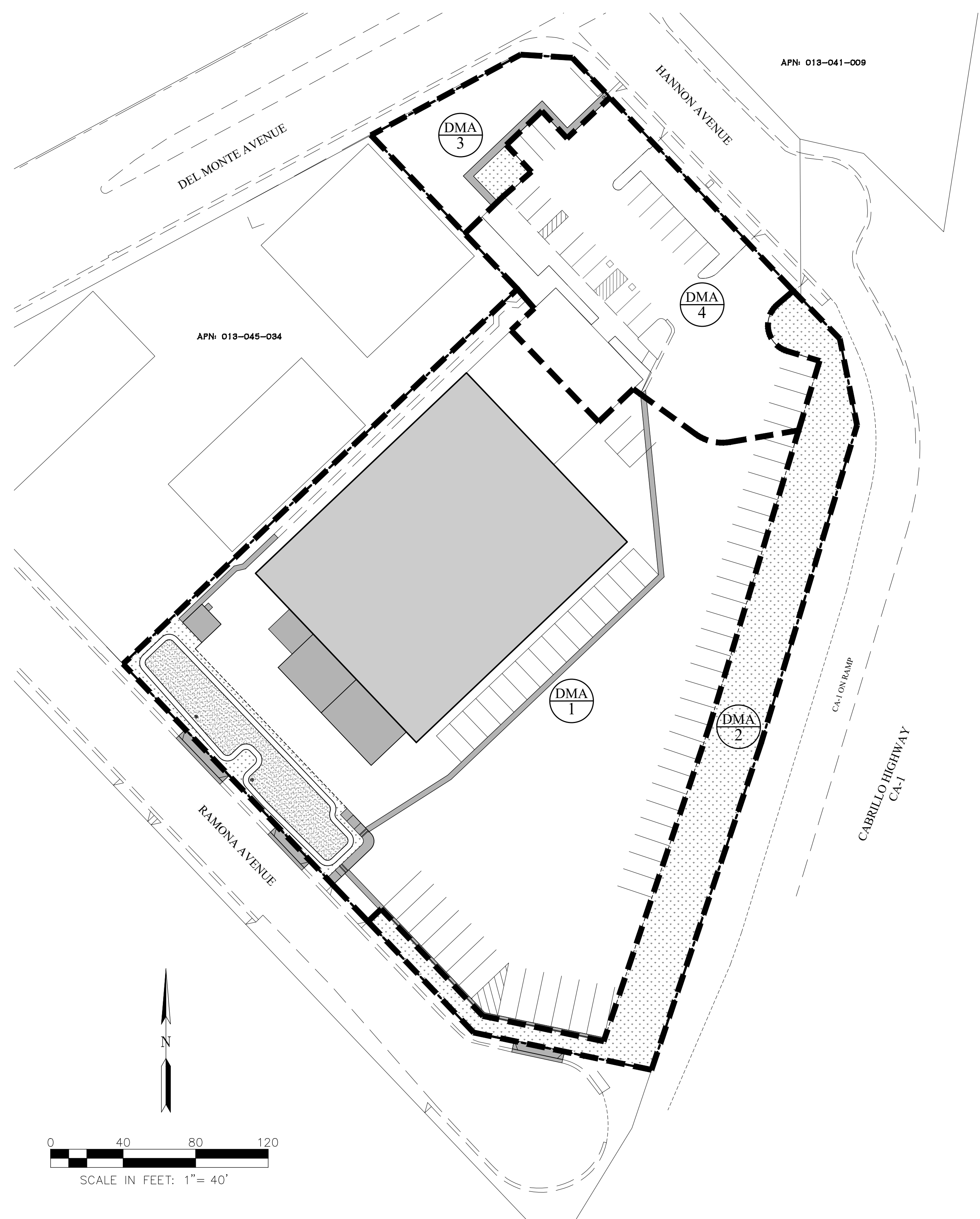
**GRADING SECTION D**



**PRELIMINARY CUT-FILL MAP**  
NO SCALE



PLOT DATE: May 16, 2023  
FILE PATH: W:\Jobs\22\_V222030 - U-Haul, Monterey\Drawings\Prelim\Applications\Use Permit\4 PRELIMINARY GRADING PLAN.dwg



- STORM WATER MANAGEMENT NOTES:**
- 1) THIS PROJECT IS TRIBUTARY TO THE MONTEREY BAY. THEREFORE, STORM WATER RUNOFF MANAGEMENT SHALL ADHERE TO THE CENTRAL COAST REGIONAL WATER CONTROL BOARD (CCRWCQB) CRITERIA IDENTIFIED IN THE "STORMWATER MANAGEMENT GUIDANCE MANUAL FOR LOW IMPACT DEVELOPMENT".
  - 2) THIS PRELIMINARY STORMWATER RUNOFF MANAGEMENT PLAN IS CONCEPTUAL AND SUBJECT TO REVISION BASED ON FINAL DESIGN, ULTIMATE SITE CONFIGURATION, AND FINAL SOIL INVESTIGATIONS.
  - 3) SUMP PUMP TO DISCHARGE LOADING RAMP DRAINAGE TO BIORETENTION BASIN.
  - 4) ALL STORMWATER CALCULATIONS SHOWN HEREIN ARE PRELIMINARY AND SUBJECT TO REFINEMENT DURING FINAL DESIGN. THE LID MEASURES AND STORMWATER CONTROL FACILITIES MAY BE CHANGED OR BE MODIFIED DURING FINAL DESIGN AS LONG AS THE PROJECT CAN SHOW CONFORMANCE WITH THE CITY OF MONTEREY, AND CCRWCQB POST-CONSTRUCTION STORMWATER RESOLUTION R3-2013-0032 IN EFFECT AT THE TIME OF APPROVAL.
  - 5) THE PROJECT IS SUBJECT TO PERFORMANCE REQUIREMENT 1 (SITE DESIGN), REQUIREMENT 2 (WATER QUALITY TREATMENT), REQUIREMENT 3 (RETENTION), AND REQUIREMENT 4 (PEAK FLOW MANAGEMENT) AS A RESULT OF PROPOSING THE REPLACEMENT OF 69,305 SF OF EXISTING IMPERVIOUS SURFACE AREA. HOWEVER, THE TOTAL POST PROJECT IMPERVIOUS AREA IS DECREASED BY 14,700 SF AND THUS THE SITE IS COMPLIANT WITH PEAK FLOW MANAGEMENT REQUIREMENTS
  - 6) DMA 4 IS EXISTING AND DRAINS TO EXISTING STREET HANNON AVENUE. PROJECT WILL REMOVE AND REDUCE TOTAL PROJECT IMPERVIOUS SURFACE PAVEMENT AREA.

**PRELIMINARY STORM WATER TABLE:**

Project Name: U-Haul Monterey  
 Project Location: Monterey, CA  
 Date: May 2023

Project Information		Total project area	
Area =	123,516 ft <sup>2</sup>	Existing Impervious Area =	109,350 ft <sup>2</sup>
			89%
			Existing Percent impervious area
Ex Imperv Area To Remain =	22,465 ft <sup>2</sup>	Total existing impervious surface to remain	
Ex Impervious Area Removed =	17,580 ft <sup>2</sup>	Total impervious surface to be removed as part of project	
Replaced Impervious Area =	69,305 ft <sup>2</sup>	Total existing impervious surface to be replaced as part of project	
New Impervious Area =	2,880 ft <sup>2</sup>	Total new impervious surface to be installed as part of project	
Total Impervious Area =	94,650 ft <sup>2</sup>	Total project impervious area	
	77%	Percent impervious area	

Water Management Zone = 1

**Performance Requirements**

- No. 1 = Implement site design and runoff reduction strategies
- No. 2 = Provide water quality treatment for 85% storm event
- No. 3 = Prevent offsite discharge from events up to the 95th% storm event via optimizing infiltration
- No. 4 = Reduce peak flows to pre-project levels for 2-yr through 10-yr storm events
- No. 5 = N/A

**Rainfall Design Information**

P<sub>85%</sub> = 0.80 in 85th% 24-hr rainfall depth  
 P<sub>95%</sub> = 1.20 in 95th% 24-hr rainfall depth

**Soil Type Design Information**

Site HSG = A NRCS Hydrologic Soil Group Classification  
 Infiltration Rate = 5 in/hr Maximum Soil Loading Rate

**PRELIMINARY STORM WATER TREATMENT & RETENTION CALCULATIONS:**

DMA	Area (SF)	Impervious Surface (SF)					Pervious Surface (SF)					Runoff Retention Volume Calculation							
		Roof	Streets/Parking Lot	Hardscape	Total Impervious Surface (SF)	Replaced Impervious Surface (SF)	Managed Turf	Landscapes/Grass	Pervious Concrete	Turf Block	Pavers	Native Landscapes/Undisturbed	SCM	Total	Impervious Area Credit for Redevelopment (SF)	Drainage Area Minus Credit (SF)	% Impervious	Runoff Coefficient	85th% Volume, V <sub>85</sub> (ft <sup>3</sup> )
1	82,160	23,035	53,075	265	76,375	76,375	0	1,670	0	0	0	4,115	5,785	38,188	43,973	93%	0.77	4,243	3,407
2	14,340	0	0	0	0	0	0	14,340	0	0	0	0	14,340	n/a	n/a	0%	0.04	n/a	n/a
3	5,930	0	0	515	515	515	0	5,415	0	0	0	0	5,415	n/a	n/a	9%	0.10	n/a	n/a
4	21,086	2,373	16,133	0	18,506	0	0	2,580	0	0	0	0	2,580	n/a	n/a	88%	0.70	n/a	n/a
<b>Total</b>	<b>123,516</b>				<b>95,396</b>	<b>76,890</b>							<b>28,120</b>	<b>38,188</b>	<b>43,973</b>			<b>4,243</b>	<b>3,407</b>

SCM Description	Available Retention Area Provided (ft <sup>2</sup> )	SCM Retention Sizing Summary			Retention Volume Provided (ft <sup>3</sup> )
		Ponding Depth (in)	Media Depth (in)	Gravel Depth (in)	
Bio-Retention Basin	3,015	8	18	12	4,347
Self-Treatment	n/a	0	0	0	n/a
Self-Retaining	n/a	0	0	0	n/a
Existing	n/a	0	0	0	n/a
					<b>4,347</b>

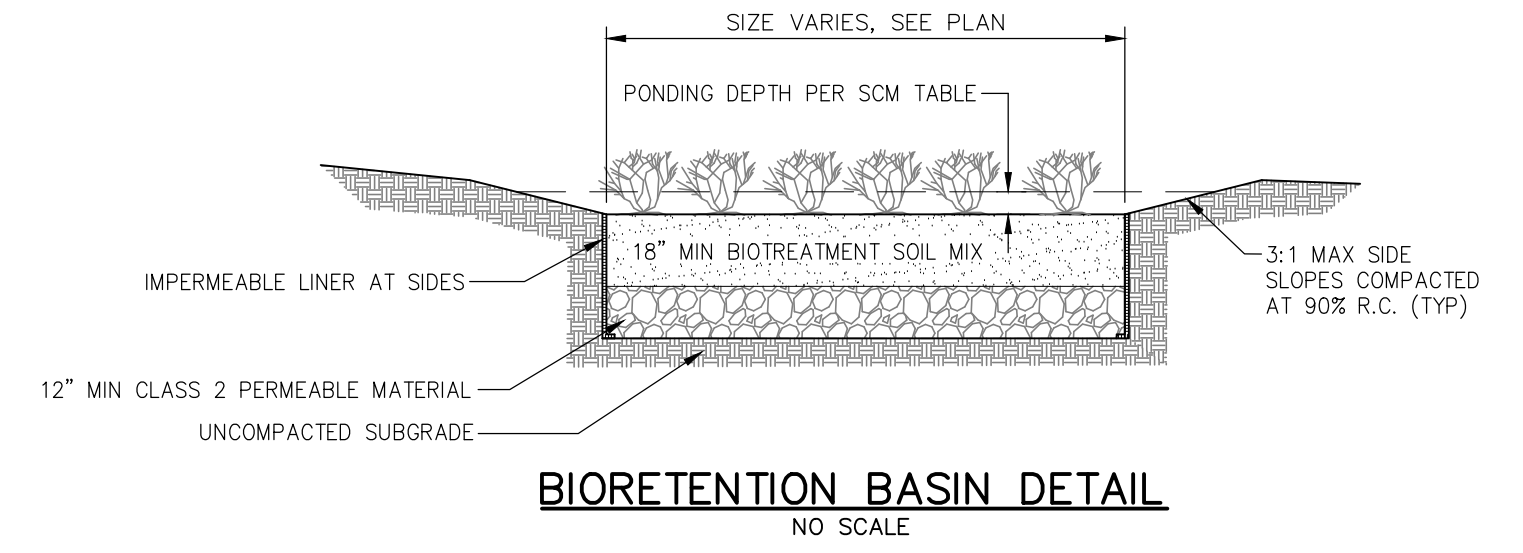
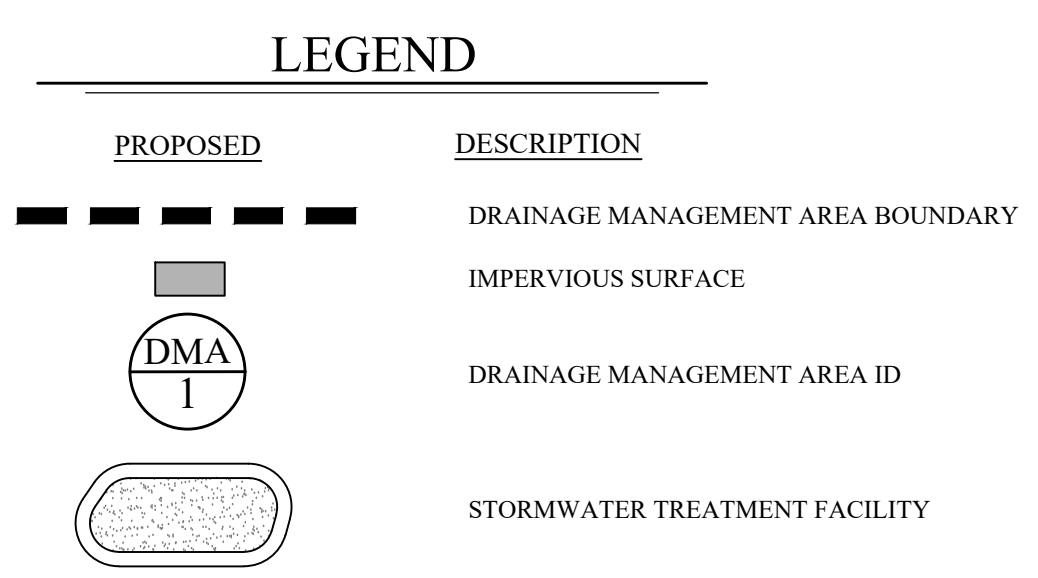
**Notes:**

1. Per Resolution No. R3-2013-0032, Section B.4.b.i.: The total amount of replaced impervious surface in redevelopment projects shall be multiplied by 0.5 when calculating the volume subject to Runoff Retention Performance Requirements.

**Governing Equations:**

$$V = \frac{C \cdot P \cdot A}{12}$$

V<sub>85</sub> = 85% Rainfall Depth Runoff Retention Volume (ft<sup>3</sup>)  
 V<sub>95</sub> = 95% Rainfall Depth Runoff Retention Volume (ft<sup>3</sup>)  
 C = 0.858i<sup>1.058</sup> - 0.78i<sup>1.058</sup> + 0.774i + 0.04  
 P<sub>85</sub> = 0.80 24-hr 85th percentile rainfall depth (in)  
 P<sub>95</sub> = 1.20 24-hr 95th percentile rainfall depth (in)  
 A = drainage area (ft<sup>2</sup>)  
 i = % impervious



PLOT DATE: May 16, 2023  
 FILE PATH: W:\Jobs\22\222030 - U-Haul, Monterey\Drawings\Prelim\Applications\Use Permit\5 PRELIMINARY STORMWATER CONTROL PLAN.dwg  
 SHEET REVISIONS: MK DATE MAY 2023  
 NOT FOR CONSTRUCTION  
 2nd SUBMITTAL  
 MAY 16, 2023  
 SHEET 5 OF 5 SHEETS  
 JOB NO. 222030

**RJA**  
**RUGGERI-JENSEN-AZAR**  
 ENGINEERS • PLANNERS • SURVEYORS  
 1000 MONTEREY AVENUE, SUITE 200  
 MONTEREY, CALIFORNIA 93940  
 PHONE: (408) 848-0300 FAX: (408) 848-0302

USE PERMIT  
 PRELIMINARY STORMWATER CONTROL PLAN  
 U-HAUL MONTEREY  
 MONTEREY, CALIFORNIA  
 FOR: OXFORD LIFE INSURANCE COMPANY

Project / Owner:

# U-Haul Monterey

233 Del Monte Avenue  
MONTEREY, CA 93940

APN.: 013-045-034-000

## THE PAUL DAVIS PARTNERSHIP

ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2784 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

Drawn By: .  
Drawing Date: 4/21/2023  
Project Number: # 22-07

Revisions:

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Sheet Title:  
**LANDSCAPE PLAN**

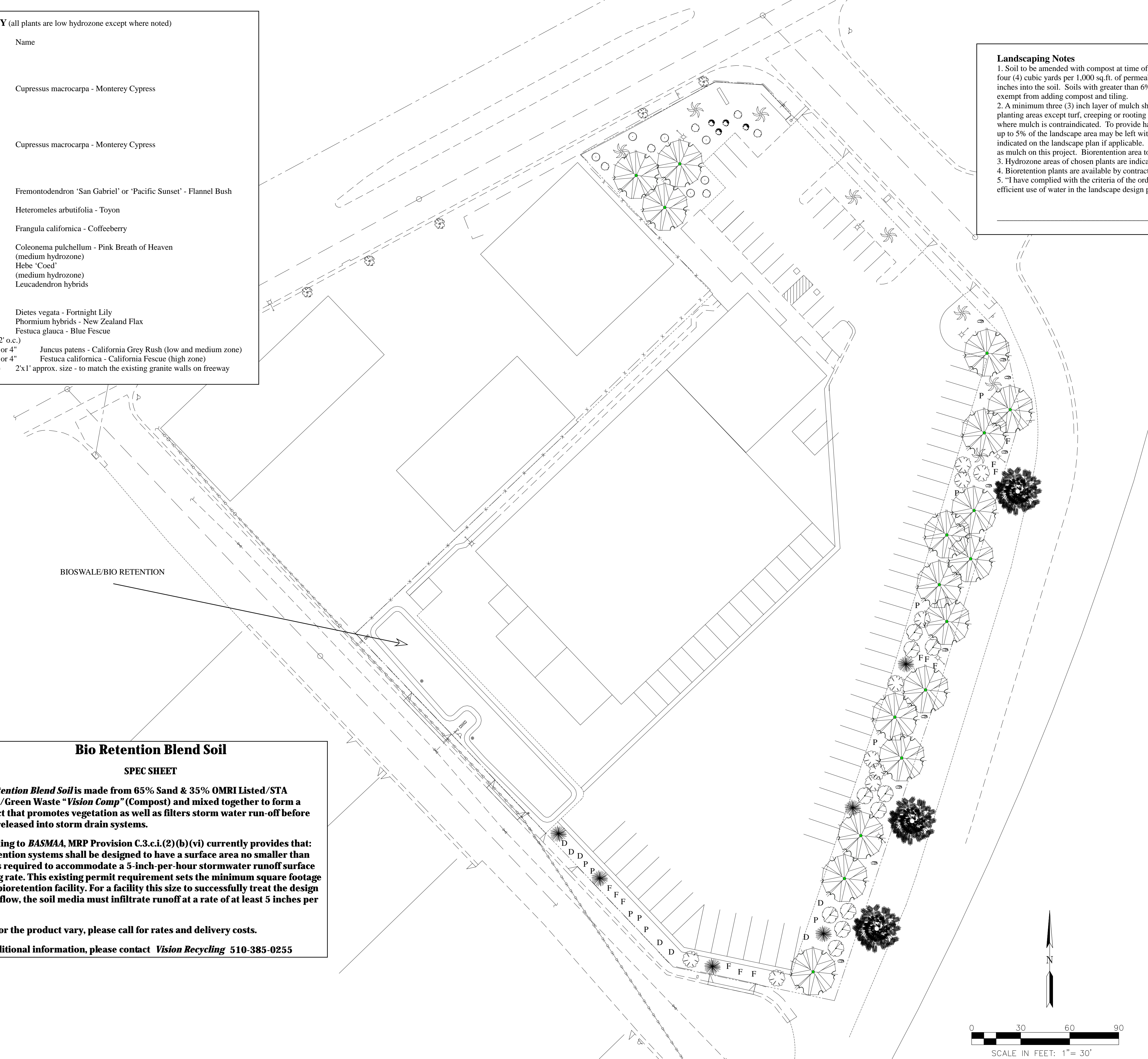
Sheet Number:

**PLANT LIST & KEY** (all plants are low hydrozone except where noted)

Symbol	Q/Size	Name
<b>Trees</b>		
	existing	Cupressus macrocarpa - Monterey Cypress
	17/15 gal.	Cupressus macrocarpa - Monterey Cypress
<b>Shrubs</b>		
	10/5 gal.	Fremontodendron 'San Gabriel' or 'Pacific Sunset' - Flannel Bush
	10/5 gal.	Heteromeles arbutifolia - Toyon
	6/5 gal.	Frangula californica - Coffeeberry
	6/5 gal.	Coleonema pulchellum - Pink Breath of Heaven (medium hydrozone)
	4/5 gal.	Hebe 'Coed' (medium hydrozone)
	6/5 gal.	Leucadendron hybrids
<b>Perennials</b>		
D	7/1 gal.	Dietes vegata - Fortnight Lily
P	10/1 gal.	Phormium hybrids - New Zealand Flax
F	12/1 gal.	Festuca glauca - Blue Fescue
<b>Bioretention Area (plant 2' o.c.)</b>		
	800/plugs or 4"	Juncus patens - California Grey Rush (low and medium zone)
	300/plugs or 4"	Festuca californica - California Fescue (high zone)
	Boulder Group(9)	2'x1' approx. size - to match the existing granite walls on freeway

**Landscaping Notes**

1. Soil to be amended with compost at time of planting. Compost at a rate of a minimum of four (4) cubic yards per 1,000 sq.ft. of permeable area, and incorporated to a depth of six (6) inches into the soil. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and tiling.
2. A minimum three (3) inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to 5% of the landscape area may be left without mulch. Designated insect habitat will be indicated on the landscape plan if applicable. Rock to match existing landscaping will be used as mulch on this project. Bioretention area to be mulched with non-floating mulch.
3. Hydrozone areas of chosen plants are indicated on plan.
4. Bioretention plants are available by contract grow from Central Coast Wilds - 831-459-0655.
5. "I have complied with the criteria of the ordinance (MWELO) and applied them for the efficient use of water in the landscape design plan."



**Bio Retention Blend Soil**  
SPEC SHEET

**Bio Retention Blend Soil is made from 65% Sand & 35% OMRI Listed/STA Tested/Green Waste "Vision Comp" (Compost) and mixed together to form a product that promotes vegetation as well as filters storm water run-off before being released into storm drain systems.**

**According to BASMAA, MRP Provision C.3.c.i.(2)(b)(vi) currently provides that: Bioretention systems shall be designed to have a surface area no smaller than what is required to accommodate a 5-inch-per-hour stormwater runoff surface loading rate. This existing permit requirement sets the minimum square footage of the bioretention facility. For a facility this size to successfully treat the design runoff flow, the soil media must infiltrate runoff at a rate of at least 5 inches per hour.**

**Costs for the product vary, please call for rates and delivery costs.**

**For additional information, please contact Vision Recycling 510-385-0255**

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 36.0

Hydrozone # /Planting Description*	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
trees - low hydrozone	0.20	drip	0.81	0.25	15,300	3,778	84,320
shrubs - medium hydrozone	0.50	drip	0.81	0.62	214	132	2,948
shrubs - low hydrozone	0.20	drip	0.81	0.25	2,750	679	15,156
bioswale - low hydrozone	0.20	drip	0.81	0.25	4,414	1,090	24,326
perennials - low hydrozone	0.20	drip	0.81	0.25	261	64	1,438
		drip	0.81	0.00			
		drip	0.81	0.00			
				Totals	22,939	5,743	128,188
<b>Special Landscape Areas</b>							
				Totals	0	0	0
							<b>ETWU Total</b>
							128,188
							<b>Maximum Allowed Water Allowance (MAWA)<sup>e</sup></b>
							230,399

\* Hydrozone #/Planting Description  
 E.g.  
 1.) high water use  
 2.) low water use  
 3.) moderate water use

<sup>b</sup> Irrigation Method  
 overhead spray  
 or drip

<sup>c</sup> Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

<sup>d</sup> ETWU (Annual Gallons Required)  
 Eto x 0.62 x ETAF x Area

<sup>e</sup> MAWA (Annual Gallons Allowed)  
 (Eto) (.062) [(ETAF x LA) + ((1-ETAF) x SLA)]

**ETAF CALCULATION**

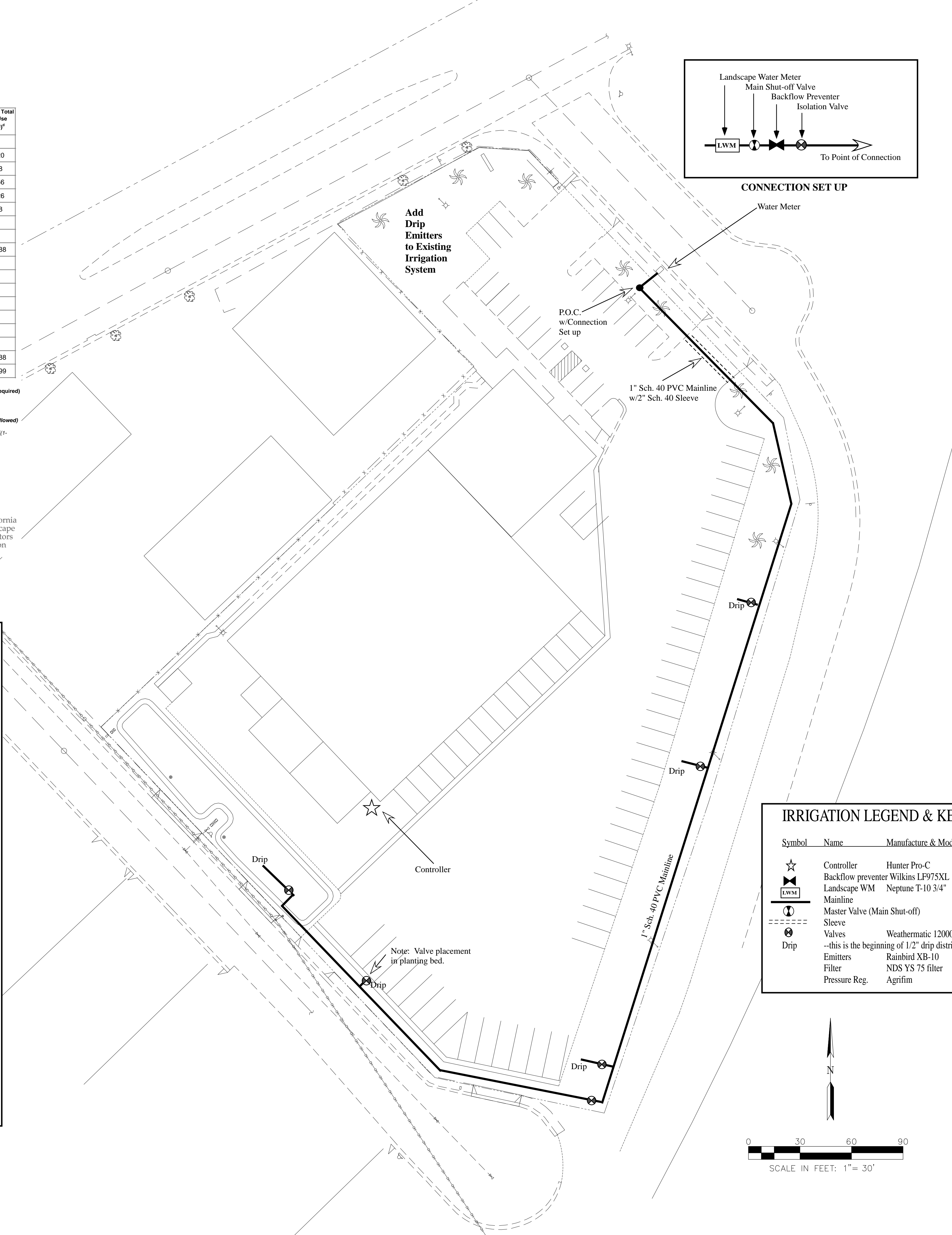
Regular Landscape Areas	ETAF
Total ETAF X Area	5,743
Total Area	22,939
<b>Average ETAF</b>	<b>0.25</b>

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



**IRRIGATION NOTES**

- Using a point of connection (water meter) as shown on plan, a 1" main line PVC will run to the valves. Installer to verify point of connection.
- All landscape will be drip irrigated. Within the planting beds 1/2" drip tubing will be used with emitters leading to each plant as follows:  
 1 GPH emitter for each 1 gallon plant  
 2, 1 GPH emitters for each 5 gallon plant  
 4, 1 GPH emitters for each 15 gallon plant  
 1/2" emitter tubing for bioretention areas with 2' spacing
- A backflow device will be used to prevent any contamination of drinking water. The Wilkins LF975XL will be used. Additionally the following components will be attached to each drip valve: Filter and pressure regulator.
- A controller will be used to regulate watering. A Hunter Pro-C is recommended used with a wireless on site weather station (Solar Sync), which will suspend or alter irrigation operation during unfavorable weather conditions. A similar "water sense" labeled controller may be used if desired.
- All work to conform to state and local codes (i.e. wiring depth of lines, flushing mainlines, and laterals, etc.).
- This drawing is diagrammatic therefore changes may be made due to conditions at the site. Contractor to make a note of changes.
- Irrigation parts and supplies are available at: Hydro Turf; 750 Work Street; Salinas (754-2020 office/754-2096 fax).
- Estimated static pressure at the site is 60psi. If pressure is significantly lower or higher pressure regulation will be needed.
- Install a Neptune T-10 Water Meter to facilitate water management on commercial sites of 1,000 - 5,000 sq.ft and residential sites over 5,000 sq.ft..
- For sites with landscaping over 5,000 sq.ft. install a flow meter. A Badger Industrial/Data Industrial Impeller series 228 PVC Irrigation Sensor #228PV1506-1211. is recommended. Manual and master shut-off valves to be installed as shown.
- Any spray portions of the irrigation will be irrigated with MP Rotators for maximum water efficiency with head to head coverage, with check valves, and installed on swing joints.
- Trees to be on a dedicated valve where feasible as shown.
- Hydrozones areas are indicated on plan. All valves service low hydrozone plants on new irrigation system. For existing irrigation system add a valve to irrigate medium hydrozone plants as needed (Del Monte Ave area).
- "I have complied with the criteria of the ordinance (MWEL0) and applied them accordingly for the efficient use of water in the irrigation design plan"



**IRRIGATION LEGEND & KEY**

Symbol	Name	Manufacture & Model	Details
☆	Controller	Hunter Pro-C	w/Solar Sync & Flow Meter
⊗	Backflow preventer	Wilkins LF975XL	reduced pressure backflow assembly
LWM	Landscape WM	Neptune T-10 3/4"	lead free, high resolution, low-flow leak detection
—	Mainline		1" PVC, sch. 40
⊕	Master Valve (Main Shut-off)		PEX Ball Valve
---	Sleeve		2" PVC, sch. 40
⊗	Valves	Weathermatic 12000 series	normally closed, forward flow design
⊗	Drip		--this is the beginning of 1/2" drip distribution tubing--
⊗	Emitters	Rainbird XB-10	Xeri-Bug Emitters
⊗	Filter	NDS YS 75 filter	1", 150 mesh filter (may be combo w/reg.)
⊗	Pressure Reg.	Agrifim	1", 30 psi for medium flow

Project / Owner:

**U-Haul Monterey**

233 Del Monte Avenue  
 MONTEREY, CA 93940

APN.: 013-045-034-000

**THE PAUL DAVIS PARTNERSHIP**  
 ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
 288 Eldorado Street  
 Monterey, CA 93940  
 (831) 373-2784 FAX (831) 373-7459  
 EMAIL: info@pauldavispartnership.com

Drawn By:

Drawing Date: 4/21/2023

Project Number: # 22-07

Revisions:

Sheet Title:  
**IRRIGATION PLAN**

Sheet Number:



October 9, 2023

Fionna Jensen  
Senior Planner  
County of Monterey Housing & Community Development  
1441 Schilling Place, South 2<sup>nd</sup> Floor  
Monterey, CA 93901

**\*\*VIA EMAIL\*\***

Subject: 2330 Del Monte Avenue, Monterey CA 93940

Dear Ms. Jensen,

The purpose of this letter is to apply for an Airport Land Use Commission consistency with the 2019 Airport Land Use Compatibility Plan Update (ALUCP). Please find below the required application information: project description, project location, and consistency recommendation with the 2019 ALUCP.

**Project Description:** The project site is a 2.84-acre (123,710 square feet) parcel. The proposed project consists of the demolition of an existing 6,250 square foot existing warehouse building and the construction of a new 20,708 square foot warehouse building to accommodate U-Haul U-Boxes (Table 1). A loading dock is incorporated for the delivery and unloading of U-Boxes.

**Table 1. Existing and Proposed Building Area**

Building A Existing Showroom, Office, and Breakroom	11,010 SF
Demolition	-6,250 SF
Building B New Warehouse Building	20,708 SF
<b>Total</b>	<b>25,468 SF</b>

Note: SF = square feet

The new warehouse would be used as a distribution and storage point for U-Boxes. U-Boxes are large containers that are delivered to homes and businesses to be filled with personal items, then either stored or shipped by U-Haul. The new U-Box storage building would not be open to the public and is for storage and distribution of U-Boxes only. U-Box users would not have direct on-

site access to their boxes. The existing truck rental and retail operation would continue with customers continuing to visit to rent U-Haul trucks.

Other site improvements include new landscaping, stormwater improvements (i.e., new bioretention basin), removal and/or replacement of ~80,000 square feet of existing pavement (in part to meet current stormwater control standards), repaving and new striping of parking spaces, additional fence screening along Highway 1, relocation of outdoor storage of U-Haul vehicles for rent, installation of nine (9) Electric Vehicle (EV) charging stations, nineteen (19) EV capable spaces, exterior lighting, and utility improvements. A total of 75 parking spaces are proposed, including twenty (20) visitor/employee parking spaces and sixty-one (55) rental vehicle parking spaces are proposed. Based on the existing and proposed uses, only 23 parking spaces are required.

The project includes the removal of five existing Red Flowering Gum trees (i.e., type of Eucalyptus) currently located in the parking lot islands. The trees would be removed when the asphalt parking lot is removed. The trees will be replaced at a 3:1 ratio. As shown on the Landscape Plan (Attachment 1), any existing trees adjacent to Highway 1 would remain and would be enhanced consistent with the required 3:1 mitigation ratio for tree replacement. Seventeen (17) new 15-gallon Monterey Cypress trees and the addition of multiple new shrubs would be planted on the southern boundary of the project site adjacent to the Highway 1 right-of-way.

The Monterey Peninsula Water Management District has confirmed water is available for the project.

The project will require the following City of Monterey Planning Department permits:

- Use Permit for building square footage in excess of 5,000 square feet and height in excess of 25 feet
- Architectural Review Permit for Preliminary and Final Design
- Tree Removal Permit

The project also requires building permits from the Permits and Inspections Department.

Project Location: The project is located at 2330 Del Monte Avenue in a commercial area between Del Monte Avenue to the north and Highway 1 to the south. The Highway 1 on-ramp is located adjacent, east and south of the project site, and Ramona Avenue is located adjacent, west of the project site (Figure 1).

Figure 1: Location Map – Project Site and Airport Runway



Consistency Recommendation:

The proposed project is located in Zone 7 Airport Influence Area and is approximately 3,956 feet from the end of the airport runway as measured on City GIS Maps.

As shown in the ALUCP Table 4B, Safety Criteria Matrix (Table 1 below), prohibited uses include hazards to flight, outdoor stadiums and similar uses with very high intensity uses. The only potentially applicable prohibition is hazards to flight, which are defined as *physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations. Land use development, such as golf courses and certain types of crops as outlined in FAA's Advisory Circular 150/5200-33B, Hazardous Wildlife Attractants on or Near Airports, that may cause the attraction of birds to increase is also prohibited.* The new U-Haul U-Box warehouse building would be approximately 32 feet in height from natural grade at the lowest natural grade (approximately maximum 29-foot ridge height with 3-foot parapet) with large interior clear spans to stack U-Boxes approximately three high and facilitate the use of heavy equipment which move the U-Boxes. Other improvements, such as replacement of existing light poles in the parking lot and new landscaping (e.g., Monterey Cypress trees), would be lower in height than the proposed new warehouse building.



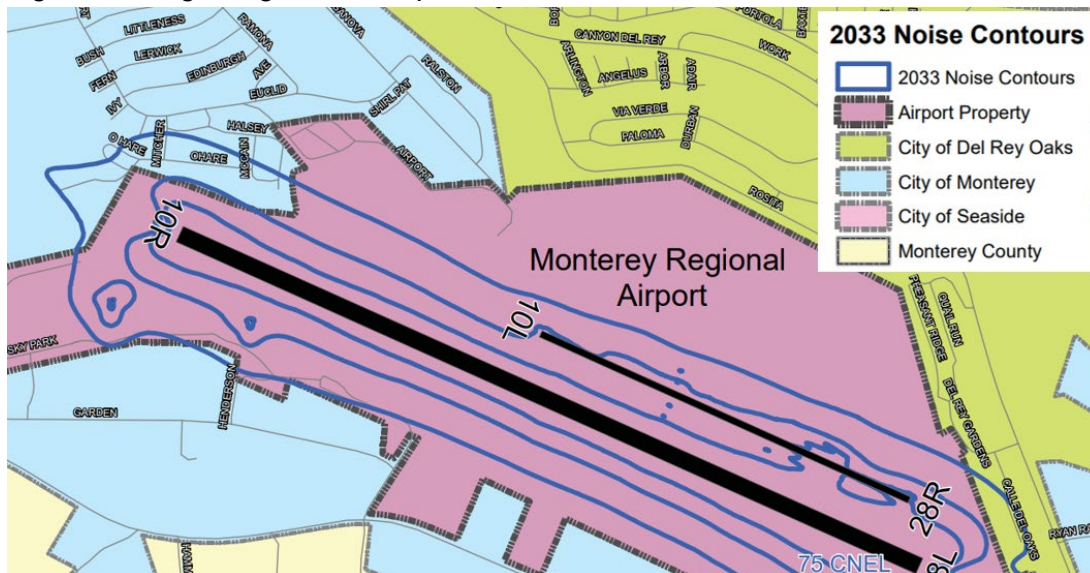
Table 1: Safety Criteria Matrix

Zone	Maximum Densities/Intensities/Required Open Land			Additional Criteria	
	Dwelling Units per Acre <sup>1</sup>	Maximum Non-residential Intensity <sup>2</sup>	Required Open Land <sup>3</sup>	Prohibited Uses <sup>4</sup>	Other Development Conditions <sup>5</sup>
7 - AIA	No Limit	300 persons per acre	10%	<ul style="list-style-type: none"> <li>• Hazards to flight<sup>6</sup></li> <li>• Outdoor stadiums and similar uses with very high intensity uses</li> </ul>	<ul style="list-style-type: none"> <li>• Airport disclosure notice required</li> <li>• Airspace review required for objects &gt;100 feet tall<sup>9</sup></li> <li>• New structures are prohibited on existing terrain that penetrates 14 CFR Part 77 surfaces<sup>9</sup></li> <li>• New structures require additional airspace analysis required within the 50-foot terrain penetration buffer<sup>9</sup></li> <li>• Proposed uses involving vulnerable occupants<sup>12</sup> within 6,000 feet from the side of the runway and 10,000 feet from the end of the runway shall require ALUC review. In addition to the prohibited uses listed within Table 4B, any use involving vulnerable occupants in the area described above is strongly discouraged.</li> <li>• Areas designated as Urban on <b>Exhibit 4C</b> are exempt from the density and intensity criteria.<sup>13</sup></li> </ul>

Also shown in Table 4B, Zone 7 includes additional criteria for “Other Development Conditions.” The only applicable condition to this project is requiring an airport disclosure notice. A condition of approval to the project can be added requiring an Airport disclosure notice for this property. The other issues (i.e., airspace review, vulnerable occupants and urban areas) do not apply to this project.

The project site is located outside the 2033 Noise Contours for the Monterey Regional Airport; and therefore, airport noise would not have an impact on the U-Haul U-Box facility (Figure 2).

Figure 2. Long Range Noise Exposure Contours



In summary, the facility appears to be in compliance with the ALUCP.

If you have any questions regarding this correspondence or any other related issue, please contact me at (831) 646-3758.

Sincerely,



Christy Sabdo, AICP  
Senior Associate Planner

# COUNTY OF MONTEREY

## AIRPORT LAND USE COMMISSION

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### MEMORANDUM

<b>To:</b>	Airport Land Use Commission
<b>From:</b>	Fionna Jensen, ALUC Staff; November 5, 2023 (831) 796-6407, <a href="mailto:JensenF1@co.monterey.ca.us">JensenF1@co.monterey.ca.us</a>
<b>Meeting Date:</b>	November 13, 2023
<b>Subject:</b>	Scheduled Item 7b – Proposed adoption of City of Salinas’ draft Housing Element (ALUC File No. REF230035).

#### **RECOMMENDATION:**

Staff recommends the Monterey County Airport Land Use Commission (ALUC) find the proposed amendments to the City of Salinas’ Housing Element (General Plan) (ALUC File No. REF230035) consistent with the 1982 Airport Land Use Plan (ALUP) for Salinas Municipal Airport.

#### **PROPOSED AMENDMENT & BACKGROUND INFORMATION:**

On October 24, 2023, the City of Salinas applied (ALUC File No. REF230035) to ALUC staff for a proposed amendment (update) to the Housing Element of the City’s General Plan. This Draft Housing Element represents the 6th Cycle Planning Period update and covers the 2023-2031 planning period, as established by the California Department of Housing and Community Development (HCD).

Pursuant to State law, the City’s Draft Housing Element evaluates existing and projected housing needs, reviews previous goals and programs, includes an inventory of sites, identifies housing constraints, describes housing program development to address housing needs, and provides quantifiable objectives. The City’s Draft Housing Element may be viewed in its entirety on the City’s public website at the following link: <https://www.visionsalinas.org/housingelement>.

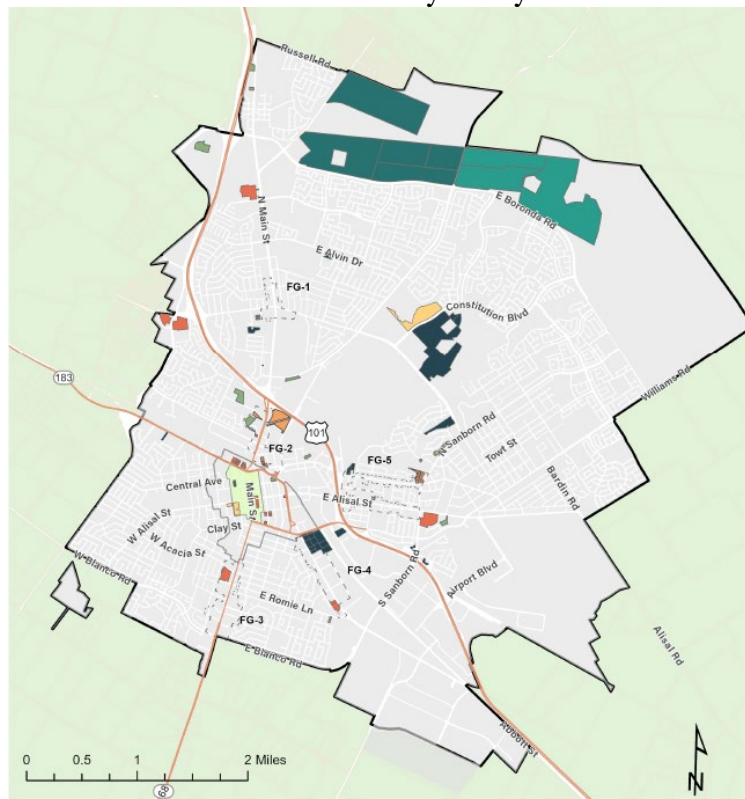
The Draft Housing Element is required to show that the City has adequate sites available to accommodate its Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by HCD. The Association of Monterey Bay Area Governments (AMBAG) is the local agency mandated by California Government Code section 65554(a) to distribute the “Fair Share Allocation” of the regional housing need to each jurisdiction in Monterey and Santa Cruz Counties. No specific housing or development projects within the City’s jurisdiction are proposed as part of the Draft Housing Element update.

The RHNA plan allocated 6,674 total units as the City’s fair share accommodation for the 6th Cycle Planning Period. The RHNA does not mandate that these units be constructed;

it does, however, require that the City demonstrate available vacant lands to meet this projected need. Additionally, Accessory Dwelling Units and Junior Accessory Dwelling Units anticipated to be built between 2023 and 2031 are also credited towards the City's RHNA pursuant to Government Code section 65583.1. Residential developments approved and permitted but not yet built ("pipeline projects") can be credited towards the City's RHNA for the 6th Cycle Housing Element, provided the City can demonstrate that the units can be built by the end of the 6th Cycle's planning period (2031). Similarly, units within completed projects that have received a certificate of occupancy as of June 30, 2023, can also be credited towards the RHNA.

To demonstrate that the City has sufficient land available to meet the projected need, the City conducted an analysis of available lands in the City to accommodate housing for all income categories. The Draft Housing Element's Land Use Inventory (see Figure 2-1 of the City's Consistency Analysis Letter) contains four components, including: 1) identification of vacant or underutilized parcels, 2) analysis of site constraints, 3) assessment of development capacity, and 4) demonstration that zoning is adequate. The Draft Housing Element Land Use Inventory concluded adequate land is available to accommodate the City's total housing needs. Sites to accommodate the City's allocation are divided into the following categories: Pipeline Projects and anticipated ADU Development, Vacant Residential and Mixed-Use Sites, Underutilized Residential and Mixed-Use Sites, and the North of Boronda Future Growth Area. The site inventory has identified capacity for an additional 8,629 units, 2,793 of which are on sites with density suitable for development of lower income housing. Pipeline projects and anticipated ADU construction are expected to produce 1,413 units. The Draft Housing Element does not propose any rezoning or other changes in the Land Use Element of the City's General Plan.

**Available Land Inventory – City of Salinas**



As stated above, the Draft Housing Element is only a policy document, and no specific housing or development projects are proposed as part of this update. Any future proposal to develop the identified housing inventory sites with residential housing may require a ALUC consistency determination review.

Many of the draft 2023-2031 Housing Element housing inventory sites within the AIA (APNs: 003-891-015-000, 003-901-022-000, 004-601-062-000, 004-601-066-000, and 003-474-002-000) were also utilized in prior Housing Elements. The ALUC found the City's 2015-2023 Housing Element consistent through adoption of Resolution No. 15-004 (see Exhibit D).

### **CONSISTENCY DETERMINATION ANALYSIS:**

ALUC staff reviewed the City's proposed amendment (update) to the Housing Element of the City's General Plan in accordance with the adopted ALUP as discussed below:

#### NOISE COMPATIBILITY

The proposed Housing Element was reviewed for consistency with Map 6 of the ALUP (2000 Community Noise Equivalent Level [CNELs] Noise Contours). Most of the housing inventory sites are located outside of the Airport Influence Area (AIA) and thus not subject to ALUC review. All the housing inventory sites within the AIA are located outside of the 55 to 65 CNEL contours, except for five properties that are located entirely or partially within the 55 CNEL noise contour. No properties are within the 60 or 65 CNEL, which discourage and prohibit residential uses, respectively.

These five properties are APNs: 003-891-015-000, 003-901-022-000, 004-601-062-000, 004-601-066-000, and 003-474-002-000. Pursuant to Policy 8, when these five properties are developed, an aviation and hazard easement granted to the Salinas Municipal Airport will be required as a condition of approval. Additionally, per Diagram E and D of the ALUP, although the no housing inventory site is within an area subject to higher noise levels (imagery surface of noise exposure), four of the five above mentioned properties are within the Local Flight Patterns of Runway 8-26 and 13-31, and thus are subject to similar considerations as those given to imaginary surfaces and may be exposed to additional "noise, vibration and psychological trepidation" (ALUP, page 62). Nevertheless, Diagram D of the ALUP dictates residential uses in these flight patterns are compatible uses and not considered environmentally sensitive land uses. The foreseeable development located at these housing inventory sites within the 55 CNEL noise contour and Local Flight Patterns of Runway 8-26 and 13-31 properties will be subject to future ALUC review and approval.

The California Department of Aeronautics' (Caltrans) Airport Land Use Handbook (ALUH) was utilized for staff's noise compatibility analysis. Per Chapter 3.2.1 of the California Department of Aeronautics' Airport Land Use Handbook, the proposed residential uses would be considered a noise-incompatible use if no mitigation measures were incorporated to reduce interior noise levels to an acceptable level. Future development of all housing inventory sites shall be required to conform with the current noise insulation standards of the California Building Code, which requires all residential structures to achieve an interior noise level of no more than 45 decibels. Therefore, based on the above analysis, the proposed amendment is consistent with the ALUCP regarding noise compatibility criteria, and no further conditions regarding noise are recommended for the Housing Element. Potential application of ALUC conditions would be better suited during ALUC consistency determination of any future development proposal.

## AIRSPACE PROTECTION & SAFETY COMPATIBILITY

The ALUP does not establish different safety zones within the Airport Influence Area for the Salinas Municipal Airport, and therefore the safety zone map prepared by Caltrans in 2012 was used for this analysis. The prepared safety zone map is based on Caltrans Airport Land Use Handbook (ALUH). The map establishes the approximate safety zone boundaries for the Salinas Municipal Airport. All proposed housing inventory sites are located outside of the ALUP's Building Restriction Zone (Diagram A of the ALUP). Additionally, all but three proposed housing inventory sites are within Safety Zone 6 (Traffic Pattern Zone). Safety Zone 6 prohibits hazards to flight and very high intensity uses such as sports stadiums but allows for residential uses at all densities. Therefore, the foreseeable development at properties that are within Safety Zone 6 are compatible uses.

Of the three properties not within Safety Zone 6, two properties are located within Safety Zone 3 (Inner Turning Zone) (APNs: 003-883-027-000 and 003-474-002-000), while one property (APN: 004-601-066-000) is partially within Safety Zone 4 (Outer Approach/Departure Zone). Safety Zones 3 and 4 allow for low density residential uses. Figure 4D and 4E of the ALUH (Safety Zones 3 and 4), establish a maximum allowed residential density of 1 dwelling unit per 2-5 acres, or at an average density/intensity of the surrounding area, as allowed by the local zoning code.

APN: 004-601-066-000 is approximately 1.34 miles northwest of Runway 13-31, within Safety Zone 4. Based on a review of the City of Salinas' General Plan and Zoning Ordinance, APN: 004-601-066-000 (7.5 acres) is currently designated and zoned Low Density Residential – 5.5 in the City of Salinas's General Plan, which allows 6-8 dwelling units per acre. According to the draft Housing Element, the foreseeable development of this site is a previously approved project that would allow construction of 37 units, or 4.6 units per acre. Development of this site at the proposed density would be compatible with the current zoning district and consistent with the surrounding area. Therefore, the foreseeable development of this site would be a compatible use.

APNs: 003-883-027-000 and 003-474-002-000 are within Safety Zone 3, approximately 0.5 to 0.6 miles west of Runway 8-26. Based on Table A of the draft Housing Element, the foreseeable development of these two properties would include conversion of each property's existing motel/hotel into a residential use with a maximum density of 24 acres per unit. Based on the draft Housing Element, conversion of these two hotels would generate permanent housing for the homeless. Conversion of existing hotels and motels into residential uses was approved by the City of Salinas through an Amendment to Chapter 37 of the City's Municipal Code, as part of the City's effort to implement the State's Homekey Program (Assembly Bill 83). The Chapter 37 Amendment was referred to the ALUC in 2021. On October 25, 2021, the ALUC found the Amendment to Chapter 37 of the Salinas Municipal Code (Zoning) consistent with the 1982 ALUP for Salinas Municipal Airport through adoption of ALUC Resolution No. 21-002. Therefore, the foreseeable development located at APNs: 003-883-027-000 and 003-474-002-000 has already been contemplated through review of the Chapter 37 Amendment and thus is consistent with the ALUP and considered a compatible use. A copy of ALUC Resolution No. 21-002 is attached as Exhibit E.

Policies LU-12 through LU-12.6 of City of Salinas' General Plan relate to the Salinas Municipal Airport. These policies require dedication of aviation easements for all development within the AIA and on-going consistency with the Salinas Municipal

Airport Land Use Plan and Airport Master Plan. All development encouraged by the Draft Housing Element would be required to comply with these policies. No development is proposed with implementation of the Housing Element amendment. Consequently, adopting the Amendment will not cause hazards to flight. Future development of the identified sites may be subject to ALUC review and approval to determine ALUP compatibility and potential hazards to flight. Application of specific conditions would be better suited during review of specific project developments. Therefore, no further conditions regarding other flight hazards are recommended.

**CONCLUSION:**

Based on review and analysis of this proposed project, staff recommends the ALUC adopt a resolution finding the City of Salinas' proposed amendment (update) to the Housing Element consistent with the 1982 Airport Land Use Plan for Salinas Municipal Airport.

Attachments:

- Exhibit A - Draft ALUC Resolution
- Exhibit B - City of Salinas Grove Consistency Analysis Letter
- Exhibit C - [Draft Housing Element](#)
- Exhibit D – ALUC Resolution No. 15-004
- Exhibit E – ALUC Resolution No. 21-002

cc: ALUC Commissioners; ALUC Counsel; Salinas Airport Manager (Brett Godown); City of Salinas (Grant Leonard); ALUC File No. REF230035

## DRAFT RESOLUTION

### Before the Monterey County Airport Land Use Commission, State of California

#### **Resolution No. 23-**

Finding the proposed amendment to the City of Salinas' Housing Element (General Plan) consistent with the 1982 Airport Land Use Plan (ALUP) for Salinas Municipal Airport. REF230035, City of Salinas (multiple Assessor's Parcel Numbers)

**WHEREAS**, on October 23, 2023, the City of Salinas (City) submitted an ALUC application for a proposed amendment (update) to the Housing Element of the City's General Plan (ALUC File No. REF230035) to ALUC staff; and

**WHEREAS**, the ALUC is responsible for review of projects within the Airport Influence Area (AIA) for Salinas Municipal Airport, as identified in the 1982 ALUP; and

**WHEREAS**, the proposed Draft Housing Element evaluates existing and projected housing needs, reviews previous goals and programs, includes an inventory of sites, identifies housing constraints, describes housing program development to address housing needs, and provides quantifiable objectives; and

**WHEREAS**, as proposed, the amendment demonstrates that the City has adequate sites available to accommodate its 6th cycle Regional Housing Need Allocation (RHNA), based on statewide and regional estimates determined by the California Department of Housing and Community Development (HCD); and

**WHEREAS**, HCD does not mandate that these units be constructed; yet, requires that the City demonstrate available vacant lands to meet the projected housing need (RHNA). No specific housing or development projects within the City's current jurisdiction are proposed as part of the Housing Element update. Foreseeable development encouraged by the draft Housing Element shall be subject to separate ALUC review; and

**WHEREAS**, the City has identified numerous properties within the City boundaries that would meet the City's RHNA requirements. These lands are located inside and outside of the Salinas Municipal AIA. The ALUC's purview is limited to the AIA and therefore this Resolution only reflects those housing sites that are within the AIA; and

**WHEREAS**, the ALUP does not establish different safety zones within the Airport Influence Area for the Salinas Municipal Airport. However, based on the Salinas Municipal Airport Safety Zone map prepared by Caltrans in 2012, all but three proposed housing inventory sites are within Safety Zone 6, which allows for residential uses with no density restriction; and



**WHEREAS**, two properties are within Safety Zone 3 (APNs: 003-883-027-000 and 003-474-002-000), while one property (APN: 004-601-066-000) is partially within Safety Zone 4. Safety Zones 3 and 4 allow for low density residential uses. Figure 4D and 4E of the ALUH, establish a maximum allowed residential density of 1 dwelling unit per 2-5 acres, or at an average density/intensity of the surrounding area, as allowed by the local zoning code; and

**WHEREAS**, APN: 004-601-066-000 (7.5 acres) is currently designated and zoned Low Density Residential – 5.5 in the City of Salinas’s General Plan, which allows 6-8 dwelling units per acre. The previously approved project located at APN: 004-601-066-000 would allow for the construction of 37 units (4.6 units per acre) and is therefore considered a low-density residential use and is a compatible use for Safety Zone 4; and

**WHEREAS**, based on the City’s proposed amendment to its Housing Element, the foreseeable development slated at APNs: 003-883-027-000 and 003-474-002-000, which are currently zoned Commercial Thoroughfare, would be conversion of the property’s existing motel/hotel into a specific residential uses with a maximum density of 24 acres per unit. Allowing conversion of existing hotels and motels into residential uses was contemplated in an Amendment to Chapter 37 of the City of Salinas’s Municipal Code. On October 25, 2021, the ALUC found the Amendment to Chapter 37 of the Salinas Municipal Code (Zoning) consistent with the 1982 ALUP for Salinas Municipal Airport through adoption of ALUC Resolution No. 21-002. Therefore, the foreseeable development located at APNs: 003-883-027-000 and 003-474-002-000 is consistent with the ALUP and considered a compatible use; and

**WHEREAS**, the proposed Housing Element amendment was reviewed for consistency with the Long Range Noise Contour Exposure Maps for Monterey Regional Airport; and

**WHEREAS**, based on Map 6 of the ALUP, all the housing inventory sites within the AIA are situated outside of the 55 to 65 Community Noise Equivalent Level (CNEL) Noise Contours, except for five properties that are within the 55 CNEL noise contour. These five properties are APNs: 003-891-015-000, 003-901-022-000, 004-601-062-000, 004-601-066-000, 003-474-002-000. Pursuant to Policy 8, when these five properties are developed, an aviation and hazard easement granted to the Salinas Municipal Airport will be required as a condition of approval. These five properties shall be subject to future ALUC review and approval; and

**WHEREAS**, four of the five above mentioned properties (APNs: 003-891-015-000, 003-901-022-000, 004-601-062-000, 003-474-002-000) are within the Local Flight Patterns of Runway 8-26 and 13-31, and thus are subject to similar considerations as those given to imaginary surfaces and may be exposed to additional “noise, vibration and psychological trepidation. Although Diagram D of the ALUP dictates residential uses in these flight patterns are compatible uses and not considered environmentally sensitive land uses, foreseeable development located at these housing inventory sites shall be subject to future ALUC review and approval; and

**WHEREAS**, no housing inventory sites are within the 60 or 65 CNEL, which discourage and prohibit residential uses, respectively, and no housing inventory site is

located within an area subject to higher noise levels (imagery surface of noise exposure; Diagram E of the ALUP); and

**WHEREAS**, all identified housing inventory sites, including those within the 55 CNEL and Local Flight Runway Patterns, are considered a noise-compatible uses pursuant to Diagram D of the ALUP and Chapter 3.2.1 of the California Department of Aeronautics' (Caltrans) Airport Land Use Handbook (ALUH); and

**WHEREAS**, California Building Code requires new development to be constructed so that all interior noise levels attributable to exterior sources do not exceed 45 dB in any habitable room, and therefore, subject to the granting of future avigation easements, the proposed Housing Element amendment and associated foreseeable development are consistent with the ALUP regarding noise compatibility criteria, and no conditions regarding noise are recommended; and

**WHEREAS**, Policies LU-12 through LU-12.6 of City of Salinas' General Plan relate to the Salinas Municipal Airport. These policies require dedication of avigation easements for all development within the AIA and on-going consistency with the Salinas Municipal Airport Land Use Plan and Airport Master Plan. All development encouraged by the Draft Housing Element would be required to comply with these policies; and

**WHEREAS**, no development is proposed with implementation of the Housing Element amendment and therefore no hazards to flight will directly occur with adoption of the amendment. Future development of the identified sites may be subject to ALUC review and approval to determine ALUP compatibility and potential hazards to flight;

**WHEREAS**, the ALUC has reviewed the proposed amendment for noise compatibility, airspace protection, safety compatibility and other flight hazards and determined that no additional recommended conditions are necessary; and

**WHEREAS**, potential application of ALUC conditions would be better suited during ALUC consistency determination of any future development proposal; and

**WHEREAS**, a complete copy of the proposed amendment is on file with the ALUC staff, and a link to the full Draft Housing Element is included in the ALUC November 13, 2023 staff report; and

**WHEREAS**, on November 13, 2023, the ALUC conducted a duly noticed public meeting to consider the proposed amendments to the Housing Element of the City's General Plan.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find the City of Salinas' draft Housing Element consistent with the 1982 ALUP for Salinas Municipal Airport, incorporated herein by reference.

**PASSED AND ADOPTED** on this 13<sup>th</sup> day of November 2023, upon motion of Commissioner \_\_\_\_\_ and seconded by Commissioner \_\_\_\_\_, by the following vote, to-wit:

AYES:

NOES:

ABSENT:  
ABSTAIN:

ATTEST  
Craig Spencer, Secretary to the ALUC

By: \_\_\_\_\_  
Fionna Jensen, Designee of Secretary to the ALUC  
November 13, 2023



## City of Salinas

COMMUNITY DEVELOPMENT DEPARTMENT

65 W. Alisal Street • Salinas, California 93901

(831) 758-7241 • (831) 758-7938 (Fax) • [www.ci.salinas.ca.us](http://www.ci.salinas.ca.us)

October 24, 2023

TO: Monterey County Airport Land Use Commission

FROM: Grant Leonard, Planning Manager, City of Salinas

SUBJECT: City of Salinas Draft 2023-2031 Housing Element

Enclosed please find the City of Salinas Draft 2023-2031 Housing Element (HE), which updates the 2015-2023 Housing Element.

### Project Description

The Draft City of Salinas 2023-2031 Housing Element (“Housing Element”- see *Attachment*) has been prepared by the City of Salinas to comply with the legal mandate that requires each local government to adequately plan to meet the existing and projected housing needs of all economic segments of the community. The Housing Element is one of seven elements required to be included in the County’s General Plan. While the law does not require local governments to construct housing to meet identified needs, it requires addressing housing needs by identifying potential sites for housing and removing barriers to housing development or improvement through policy.

State law specifies that the Housing Element must assess housing needs and evaluate the current housing market in the County, and then identify programs that will meet housing needs. The housing market evaluation includes a review of housing stock characteristics as well as housing cost, household incomes, special needs households, availability of land and infrastructure and various other factors. Also included in this evaluation is the community’s Regional Housing Needs Allocation or RHNA, which provides an estimate of the number of housing units that should be provided in the community to meet its share of new households in the region.

The Association of Monterey Bay Area Governments (AMBAG), the regional planning agency responsible for allocating the RHNA to individual jurisdictions within the region, has allocated 6,674 RHNA units for the 2023-2031 Housing Element update for the City of Salinas. These units have the following income distribution:



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Income Group	Total Housing Units Allocated	Percentage of Units
Extremely/Very Low	920	13.78%
Low	600	9.00%
Moderate	1,692	25.35%
Above moderate	3,462	51.87%
Total	6,674	100%

The City has completed an inventory of available housing sites and determined that there are sufficient sites available to plan for the 6,674 RHNA allocation. Sites to accommodate the City's allocation are divided into the following categories:

- Pipeline Projects and anticipated ADU Development
- Vacant Residential and Mixed Use Sites
- Underutilized Residential and Mixed Use Sites
- The North of Boronda Future Growth Area.

The site inventory has identified capacity for an additional 8,629 units, 2,079 of which are on sites with density suitable for development of lower income housing. A map of the Sites Inventory is included as Attachment. Pipeline projects and anticipated ADU construction are expected to produce 1,413 units. The Draft 2023-2031 HE does not propose any rezoning or other changes in the Land Use Element of the City's General Plan.

## Location

The planning area for the 2023-2031 Housing Element comprises all land within the City of Salinas. The City of General Plan, adopted in 2002 and supplemented in 2017 with the Economic Development Element, provides a framework for future land use patterns in the City of Salinas in the form of goals and policies that are designed to facilitate planned, orderly growth.

## Consistency Recommendation with Applicable Airport Land Use Compatibility Plan

None of the proposed policies of the Housing Element have any foreseeable potential to introduce new impacts regarding safety hazards due to airport operations. With no proposed rezoning or changes in land use, future development of the identified housing sites in the Draft 2023-2031 Housing Element are consistent with Airport Land Use Plan for Salinas Municipal Airport. Furthermore, the growth outlined in the Housing Element is consistent with what was outlined in the 2017 Economic Development Element that was determined to be consistent with the Airport Land Use Plan. Therefore, the Housing Element would not conflict with Airport Land Use Plan policies.



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### Timeline for City of Salinas Housing Element:

- November – December: 2023: Release of final 2023-2031 Housing Element for public and Planning Commission review
- December 5, 2023: Council of consideration of adoption of Housing Element
- December 15, 2023: Submission of adopted 2023-2031 Housing Element to California Department of Housing and Community Development for certification.

### Attachments:

- ALUC Application
- Summary of Draft 2023-2031 Housing Element
- Housing Sites Inventory Map

### Webpage Link to Draft 2023-2031 Housing Element:

<https://www.visionsalinas.org/housingelement>

# City of Salinas Housing Element Update 2023-2031



## WHAT IS THE HOUSING ELEMENT?



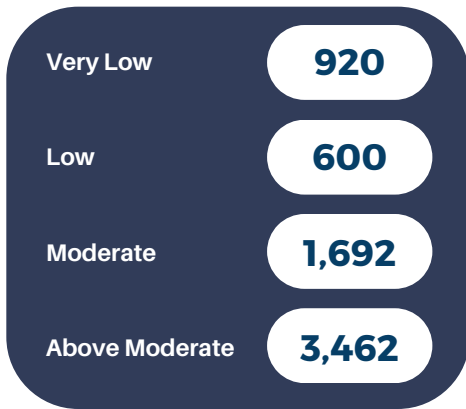
- Required part of the General Plan
- Establishes the City's goals and policies for addressing housing needs
- Updated every eight years. Must be reviewed and certified by the State Department of Housing and Community Development (HCD)
- Implements Regional Housing Needs Allocation (RHNA)

## CITY'S ROLE IN HOUSING

- Create the environment for housing production (rules, procedures, incentives)
- Housing programs
- Monitoring safety - code enforcement
- Grant/gap funding and special projects
- **But not a housing developer**

**RHNA: \*6,674**

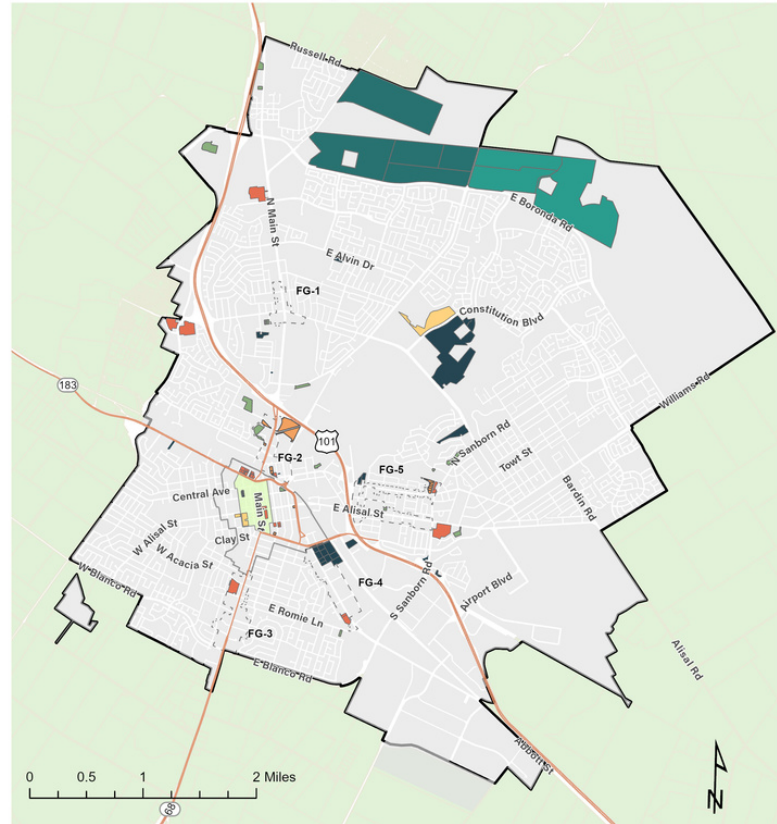
Salinas 2023-2031 RHNA by Income Level



\*RHNA is the number of homes the City of Salinas is required to plan for. This number is triple what it was in 2015 because of the continued need for housing.

## SITES INVENTORY

2023-2031 Draft Housing Element Sites Inventory



- |                                  |                                 |                            |
|----------------------------------|---------------------------------|----------------------------|
| West Area Specific Plan Sites    | Underutilized Residential Sites | Downtown Core              |
| Central Area Specific Plan Sites | Vacant Mixed Use Sites          | Downtown Neighborhood Area |
| Pipeline Projects                | Underutilized Mixed Use Sites   | Focused Growth Overlays    |
| Vacant Residential Sites         | City of Salinas Boundary        | Monterey County Parcels    |

The Sites Inventory map shows the land available for potential development.

## 2023 HOUSING ELEMENT TIMELINE



## COMMUNITY ENGAGEMENT



Following the adoption of the 2015-2023 Housing Element, the City has continued extensive bilingual community outreach.

- **(25)** Twenty-five community workshops exploring housing topics
- **(12)** Twelve AVP & Visión Salinas Housing Working Group Meetings
- **(4)** Four citywide budget meetings for 2023-2024 budget cycle
- **(40)** Budget pop-up activities for 2023-2024 budget cycle
- **(6)** Visión Salinas pop-up activities
- **(3)** Housing Element Workshops
- **(95)** Ninety-five house meetings facilitated by GPU Ambassadors reaching over three hundred and forty **(340)** residents in Spanish, Mixteco and Triqui.
- GPU Ambassadors presentations and community conversations reaching over one thousand two hundred **(1,200)** farmworkers.

## \*Ambassador Tool Kit

### HOUSING

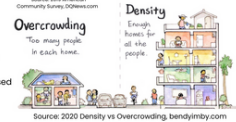


#### KEY INFORMATION

- Salinas has limited land availability particularly for housing developments.
- Salinas is surrounded by protected agriculture land. Housing/developments cannot be built on flood plains.
- Future Growth Areas: Plans have been adapted for future housing developments.
- Available land = outside City limits
- **46%** of our current land use is dedicated to housing.
- **18.3%** of units = overcrowded (more than 1 occupant per room).
- Median home price November 2021 = **\$666,250\***

#### HOW CAN WE CREATE MORE HOUSING?

- Build out Future Growth Area
- Infill development and higher density housing
- Infill development = building within unused & underutilized lands
- High density housing = taller housing buildings



#### WHAT KIND OF HOUSING WOULD YOU LIKE TO SEE IN THE FUTURE?



\*GPU Ambassadors used a tool kit to facilitate discussion around housing and other topics.

## HOUSING ELEMENT GOALS

- GOAL 1: Increase Housing Supply and Opportunities for All.
- GOAL 2: Provide Tenant Protection.
- GOAL 3: Access to Safe and Healthy Housing for All Residents.
- GOAL 4: Advance Housing Affordability and Opportunity at all Income Levels.
- GOAL 5: Stabilize and Support Neighborhoods.
- GOAL 6: Improve City Homeless Response.

## HOUSING ACTIONS

**Prohousing Designation:** Funds will be used towards the development of affordable housing and First Time Homebuyer Down Payment Assistance Program.

**Pre-approved ADU plans.**

**Re-establish Low-Interest House Rehabilitation loans and grants.**

**Supporting Renters:** rental assistance, rental registry program, Fair Housing services, etc.

**Homeless Services:** Salinas Outreach Response Team (SORT), Project Homekey, SHARE Center, Encampment Resolution Grant, and more!

**In-fill development and future growth areas.**



**Before the Monterey County Airport Land Use Commission,  
State of California**

**Resolution No. 15-004**

Finding the proposed application for review of the draft Housing Element consistent with the Comprehensive Land Use Plan (CLUP) for Salinas Municipal Airport.

[REF150106, County of Salinas, City-Wide]

**WHEREAS**, on December 14, 2015, ALUC Staff received an application from the applicant, City of Salinas, Department of Community Development, to review a draft 2015-2023 Housing Element update to the City of Salinas General Plan (REF150106). The Housing Element is one of the elements required to be included in the City's General Plan. The Housing Element is a policy document that assesses housing needs and evaluates the current housing market in the County, and identifies programs that will meet housing needs; and

**WHEREAS**, the ALUC is responsible for review of all projects and specific plans for consistency with the Comprehensive Land Use Plan (CLUP) for the Salinas Municipal Airport; and

**WHEREAS**, on December 14, 2015, the ALUC conducted a duly noticed public meeting to consider and accept the application (ALUC File No. REF150106, Item 7a); and

**WHEREAS**, Figure LU-1 of the City of Salinas General Plan identifies future growth areas where the Housing Element proposes some future affordable housing needs to be located. Two growth areas are located near the airport; and

**WHEREAS**, Policy LU-12.1 of the General Plan requires consistency with the Salinas Municipal Airport Master Plan and Comprehensive Land Use Plan (CLUP) for the Salinas Municipal Airport. Policy C-8 of the General Plan requires the continued coordination with the Airport Land Use Commission on projects near the airport. Therefore, if new development for affordable housing is located within the influence area of the Salinas Municipal Airport, development would need to be consistent with policies within the City's General Plan which requires consistency with the CLUP and consistency determination by the ALUC. However, the Housing Element is a policy document that does not propose any development, but provides policies to identify ways to accommodate the region's projected housing needs.

**NOW, THEREFORE, BE IT RESOLVED**, that the Monterey County Airport Land Use Commission does hereby find the application for the review of the draft Housing Element (REF150106) consistent with the Comprehensive Land Use Plan (CLUP) for the Salinas Municipal Airport.


**PASSED AND ADOPTED** on this 14th day of December, 2015, upon motion of Commissioner Cleveland, seconded by Commissioner Larson, by the following vote, to-wit:

AYES: McGregor, Cohen, Larson, Cleveland, Sabo

NOES: None

ABSENT: Kampe, Huerta  
ABSTAIN: None

ATTEST  
Mike Novo, Secretary to ALUC

By:   
\_\_\_\_\_  
Dan Lister, Designee of Secretary to ALUC  
December 14, 2015

**Before the Monterey County Airport Land Use Commission,  
State of California**

**Resolution No. 21-002**

Finding the proposed amendment to Chapter 37 of the City of Salinas' Municipal Code consistent with the 1982 Salinas Municipal Airport Land Use Plan (ALUP).

REF210029, City of Salinas (Multiple Assessor's Parcel Numbers)

**WHEREAS**, on October 5, 2021, the City of Salinas (City) submitted an ALUC application for a proposed amendment to Chapter 37 of the City's Municipal Code (Zoning) (ALUC File No. REF210029) to ALUC staff; and

**WHEREAS**, the ALUC is responsible for the review of projects within the Airport Influence Area for Salinas Municipal Airport, as identified in the 1982 ALUP; and

**WHEREAS**, the proposed Zoning amendment would revise Chapter 37 of the City's Municipal Code to allow certain mixed-use and/or limited residential uses in the Commercial Thoroughfare (CT) Zoning District, thereby increasing the City's housing supply; and

**WHEREAS**, the amendment would require approval of a Conditional Use Permit (CUP) to allow Interim Housing, Multiple Detached Dwelling, Multifamily Dwelling, Single Room Occupancy, and Mixed-Use Buildings and Developments in the CT Zoning District; and

**WHEREAS**, this amendment would change Interim Housing, Multiple Detached Dwelling, Multifamily Dwelling, Single Room Occupancy, and Mixed-Use Buildings and Developments from not a permitted use (NP) in the CT Zoning District to requiring a conditional use permit (CUP) by changing the permit requirement language in Table 37-30.90 "Commercial (C) District Use Classification" of Zoning Code (ZC) Section 37-200; and

**WHEREAS**, this amendment proposes to restrict residential development in the CT Zoning District to a maximum of twenty-four dwelling units per acre and a floor area ratio of 0.40 plus ten dwelling units per net acre; and

**WHEREAS**, with approval of the proposed amendment, residential uses would be allowed in all of the City's Commercial Districts and therefore, the word "certain" as it pertains to which Commercial Districts allow residential uses is proposed for deletion; and

**WHEREAS**, here are 6 properties zoned CT within the Airport Overlay District. Of these 6 properties, 3 properties are located in the 60 CNEL, per the 1980 CNEL Noise Contour Map (Map 5) of the Salinas Municipal ALUCP. The remaining 3 CT Zoning

District areas are located within the 55 CNEL contour. Therefore, the ALUC recommends two conditions requiring the property owner to grant an aviation and hazard easement to the Airport Authority and perform acoustical analysis to determine the need for insulation, as applicable per CUP application (see the attached ALUC Condition ALUC-1 and ALUC-2. Application of the easement and acoustical analysis conditions would limit the number of individuals potentially exposed to frequent and/or high levels of airport noise; and

**WHEREAS**, the amendment does not propose any development, prohibited uses, or new zoning districts in the Clear Zone Approval Perimeter (as shown in Attachment D and Map 7 – Building Restriction Area - of the ALUP). All six CT Zoning District properties within the Airport Overlay District are located within Safety Zone 3 (Inner Turning Zone), which limits residential uses. Although the amendment does not propose any development, it would allow certain residential uses in the CT Zoning Districts, where motels and hotels, and other services already exist. Per the proposed amendment, the CT Zoning District is limited to 24 units per acre and therefore limits the number of residential uses in Safety Zone 3. This amendment intends to redevelop existing buildings. Thus, the risk associated with potential aircraft accidents would not increase; and

**WHEREAS**, the City’s CT Zoning Districts do not penetrate Part 77 – Salinas Municipal Airport’s airspace transitional surface - and no new development or land-use changes are proposed in the amendment. Therefore, the proposed amendment would not increase the risk of hazards to flight; and

**WHEREAS**, a complete copy of the proposed amendment is on file with the ALUC staff, and a full Draft Zoning Amendment is included in the October 25, 2021 staff report to the ALUC; and

**WHEREAS**, on October 25, 2021, the ALUC conducted a duly noticed public meeting to consider the proposed amendment to Chapter 37 of the City’s Municipal Code.

**NOW, THEREFORE, BE IT RESOLVED**, the Monterey County Airport Land Use Commission does hereby find that the proposed amendment to Chapter 37 of the Salinas Municipal Code (Zoning) consistent with the 1982 ALUP for Salinas Municipal Airport, subject to incorporation of the recommended ALUC Conditions, attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** on this 25<sup>nd</sup> day of October 2021, upon motion of Commissioner McGregor and seconded by Commissioner Cleveland, by the following vote, to-wit:

AYES: Cleveland, Carbone, Cohan, McGregor, Stewart  
NOES: Sabo  
ABSENT:  
ABSTAIN:

ATTEST  
Erik Lundquist, AICP, Secretary to the ALUC

By:



Fionna Jensen, Designee of Secretary to the ALUC  
October 25, 2021



## ALUC CONDITIONS

The following standard and/or non-standard conditions may be applied to an application being considered before the ALUC. If the box next to the condition is marked, that indicates the condition is to be applied to the project as part of the ALUC recommendation.

**PROJECT NAME: CITY OF SALINAS**  
**ALUC FILE NO.: REF210029**

<input checked="" type="checkbox"/>	<b>ALUC-1</b>	<p><b>AVIGATION AND HAZARD EASEMENT</b></p> <p>Prior to the issuance of a construction permit, the developer/owner shall grant an avigation and hazard easement to the appropriate airport authority. The easement shall be recorded at the Monterey County Recorder's Office. The easement may include:</p> <ul style="list-style-type: none"> <li>• Right-of-flight at any altitude above the acquired easement surfaces.</li> <li>• Right to cause noise, vibrations, fumes, dust and fuel particle emissions.</li> <li>• Right to prevent construction or growth of all structures, objects or natural growth above the acquired easement surfaces.</li> <li>• Right-of-entry to remove, mark or light any structures or growth above the acquired easement surfaces, or right to require the owner to remove, mark or light.</li> <li>• Right to prohibit creation of electrical interference, unusual light sources and other hazards to aircraft flight.</li> <li>• Any other limitation that the ALUC may recommend to protect the public's health, safety and welfare.</li> </ul>
<input checked="" type="checkbox"/>	<b>ALUC-2</b>	<p><b>NOISE INSULATION STANDARDS</b></p> <p>The project shall conform to current noise insulation standards pursuant to the California Code of Regulations, Title 25, Chapter 1, Subchapter 1.</p>
<input type="checkbox"/>	<b>ALUC-3</b>	<p><b>NOISE STANDARDS</b></p> <p>The project shall conform to noise standards pursuant to the California Code of Regulations, Title 21, Subchapter 6.</p>
<input type="checkbox"/>	<b>ALUC-4</b>	<p><b>AIRPORT APPROACH ZONING</b></p> <p>The project shall conform with Title 20 and Title 21 of the Monterey County Code (Zoning Ordinances), Chapter 20.92 and Chapter 21.86, Airport Approaches Zoning, and/or applicable zoning code relevant to airport hazards and operations.</p>
<input type="checkbox"/>	<b>ALUC-5</b>	<p><b>OBJECTS AFFECTING NAVIGABLE AIRSPACE</b></p> <p>The project shall conform to FAR, Part 77 – Objects Affecting</p>

		Navigable Airspace.
<input type="checkbox"/>	<b>ALUC-6</b>	<p><b>EXTERIOR LIGHTING</b></p> <p>Prior to the issuance of a construction permit, an Exterior Lighting Plan shall be reviewed and approved by the applicable airport manager prior to the issuance of any construction permits. All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled.</p>
<input type="checkbox"/>	<b>ALUC-7</b>	<p><b>TOWERS - MARKING AND LIGHTING</b></p> <p>When not specifically required by FAA Advisory Circular 70/7640-IF (Obstruction Marking and Lighting), the following ALUC recommendations shall be applied to towers:</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> A flashing red beacon shall be installed at the highest point of the structure.</li> <li><input type="checkbox"/> A steady burning red obstruction light shall be installed at the highest point of the structure.</li> <li><input type="checkbox"/> A steady burning red obstruction light shall be installed at the intermediate level of the structure.</li> <li><input type="checkbox"/> Nine (9) day-glow markers (20" minimum) shall be installed on the top level of guide wires (3 to the wire).</li> <li><input type="checkbox"/> The applicant shall contact the FAA to publish a NOTAM (Notice to airmen) in Monterey County about the location of the proposed structure.</li> <li><input type="checkbox"/> Standard marking (orange and white striping) shall be installed, as defined in Chapter 3 of the FAA AC 70/7460-IF.</li> </ul>
<input type="checkbox"/>	<b>ALUC-8</b>	<p><b>NO CONDITION REQUIRED</b></p> <p>The project, as reviewed by the ALUC, is consistent with the CLUP for that jurisdiction and does not require any conditions.</p>
<input type="checkbox"/>	<b>ALUC-9</b>	<b>NON-STANDARD CONDITION</b> (See attached)

**PROJECT REVIEWED BY THE ALUC ON: 10/25/2021**