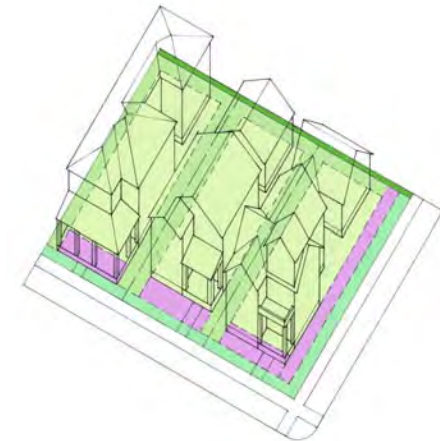




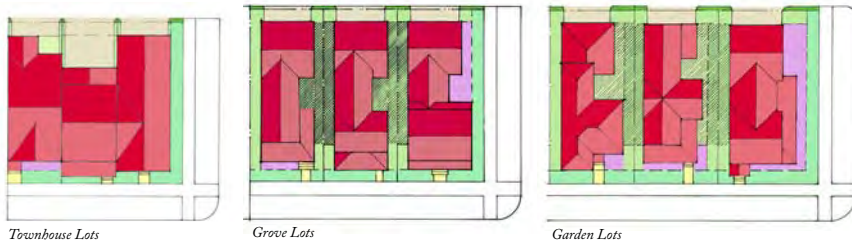
## Community Patterns Overview

THE COMMUNITY PATTERNS SECTION contains specific requirements for placing houses and buildings on specific sites within the plan. These guidelines were developed as part of the master planning process and are meant to ensure that the diversity and character of East Garrison called for in the East Garrison Specific Plan are implemented and maintained.

All housing designs and site plans must be reviewed and approved via the East Garrison Design Review process set forth in the East Garrison Specific Plan, Section 6.2 Design Review.



# Overview

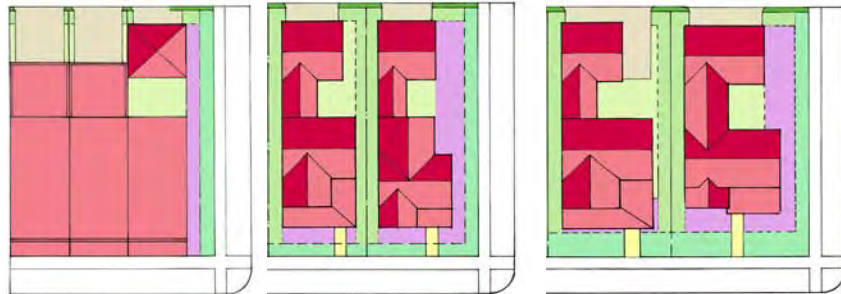


Townhouse Lots

Grove Lots

Garden Lots

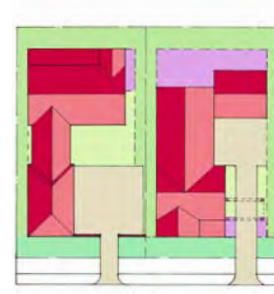
*Note: Public areas adjacent to lots (shown in white on all lot types) may or may not contain a park strip between the sidewalk and the curb.*



Live/Work Townhouse Lots

Bungalow Lots

Village Lots



Bluff Lots



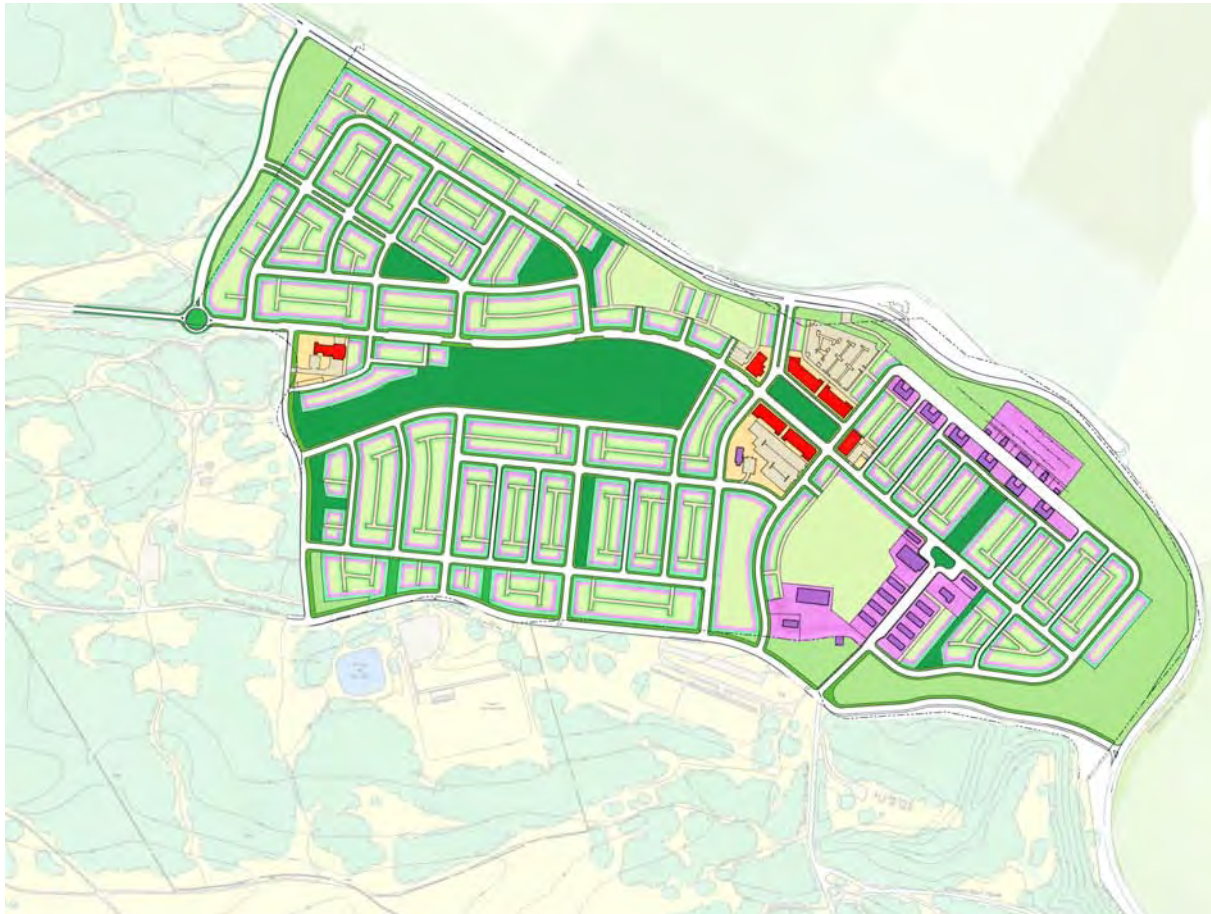
## Lot Types

EAST GARRISON OFFERS A VARIETY of lot types and locations ranging from 18 feet to approximately 65 feet wide. These lot types include Townhouse, Grove, Garden, Bungalow, Village, Courtyard, and Bluff Lots. Most of these lots have rear lane accessed parking—either a garage, carport, or paved parking pad—with continuous front yard landscaping uninterrupted by parked cars and driveways. Lot types are mixed throughout the community. In addition to the single-family lots, multi-family sites and buildings have been integrated into the neighborhoods. Following the description of setback requirements (on the next page), general conditions for each of the lot types are presented.



Courtyard Lots

# Lot Types



Illustrative setback plan

## Setback Requirements

The **Private Zone** is the buildable portion of the lot excluding the required setbacks and the Front and Side Street Facade Zones.

Each lot has a series of setback lines that define a minimum yard between houses, streets, and rear lanes. There are also zones within which the house shall be placed. The **Front Facade** (the front elevation of the house, including the porch or bays, which face the street or paseo on which the house has its address) shall be placed within the **Front Facade Zone** described in the general conditions for each lot type. The Front Facade Zone is generally the shorter dimension of the lot versus the side which is generally oriented along the longer property line. The Front Facade Zone is set back from the front property line at a distance defined by the **Front Yard Setback Line**. The **Front Yard Setback Zone**

**Setback Zone** is the area between the Front Yard Setback Line and the front property line. Porches and bay windows generally can project into the Front Yard Setback Zone.

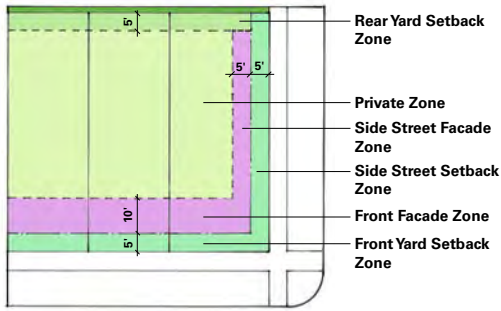
On corner lots, a **Side Street Setback Zone** is established adjacent to the cross street. Its dimension is established in the *Community Patterns* and is measured from the side street right-of-way to the **Side Street Setback Line**. The primary side elevation shall be placed within the **Side Street Facade Zone**, which is described in the general conditions for each lot type.

The **Rear Yard Setback Zone** defines the minimum distance from the rear property line to the **Rear Yard Setback Line**. The Rear Yard Setback Line establishes a minimum setback for garages and side wings.

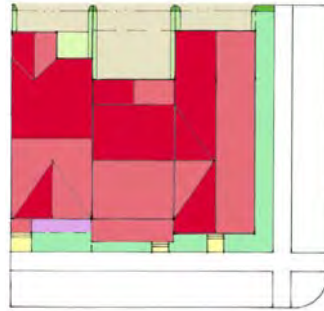


The street-facing facades of East Garrison houses will be placed in the Front and Side Street Facade Zones as shown above and throughout the *Community Patterns* section.

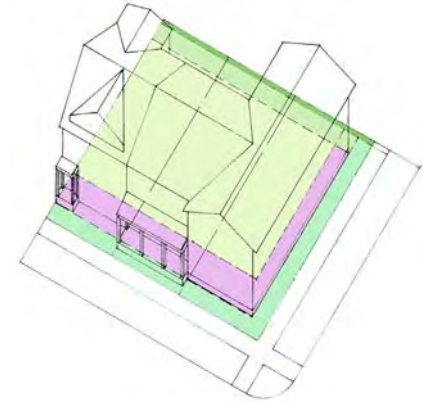
# Setback Requirements



Plan of townhouse zones and setbacks



Illustrative plan of townhouse placement on the lot



## Townhouse Lots – General Conditions

### Lot Size

Attached Townhouse lots range from approximately 18 to 30 feet wide by a minimum of 70 feet deep.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone.

### Side Yard Setback

Since the houses are attached, there is no required side yard setback. See Side Street Setback requirements for regulations concerning corner units.

### Side Street Setback/ Side Street Facade Zone

A minimum five-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent five-foot-deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Porches and bay windows may encroach up to two feet into both the Front Yard and Side Street Setback Zones.

### Garage Requirements

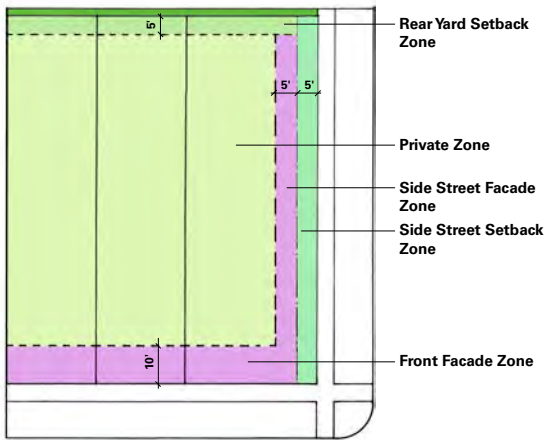
Garages shall be set back a minimum of five feet as required under Rear Yard Setbacks. If the design includes a parking pad, garages shall be set back a minimum of 18 feet from the rear lane right-of-way. Although covered parking is not required, a minimum of two parking spaces per unit is required.

### Fencing Recommendations

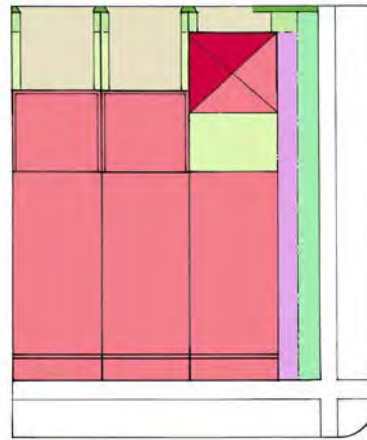
Front yard fences are a permitted upgrade. Rear and side yard fences are permitted for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book.

# Townhouse Lots

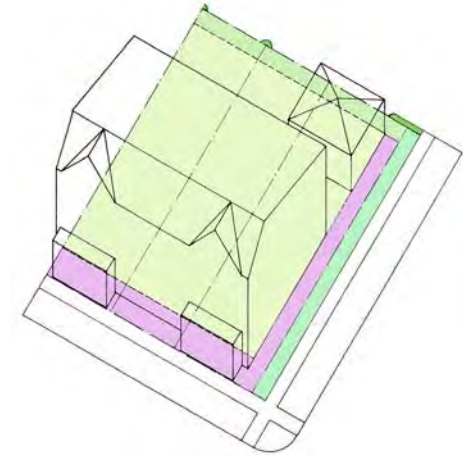




Plan of live/work townhouse zones and setbacks



Illustrative plan of live/work townhouse placement on the lot



## Live/Work Townhouse Lots – General Conditions

### Lot Size

The East Garrison Specific Plan features Town Center Live/Work Townhouse lots that range from approximately 18 to 30 feet wide by a minimum of 70 feet deep. It also features Arts District Live/Work Townhouse units on consolidated parcels.

### Front Yard Setback/ Front Facade Zone

Minimum zero-foot setback from the front property line to the house/unit. The front facade of the house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone.

### Side Yard Setback

Since the houses/units are attached, there is no required side yard setback. See Side Street Setback requirements for regulations concerning corner units.

### Side Street Setback/ Side Street Facade Zone

Minimum five-foot setback from the side street property line to the house/unit. The side street facade may be located anywhere within the adjacent five-foot deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Bay windows may encroach up to two feet into the Side Street Setback Zone.

### Garage Requirements

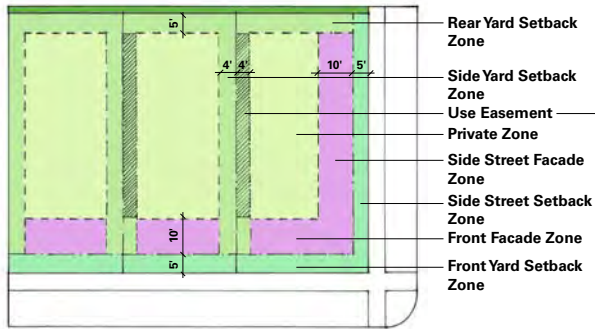
Garages shall be set back a minimum of five feet as required under Rear Yard Setbacks. If the design includes a parking pad, garages shall be set back a minimum of 18 feet from the rear lane right-of-way. Although covered parking is not required, a minimum of two parking spaces per unit is required.

### Fencing Recommendations

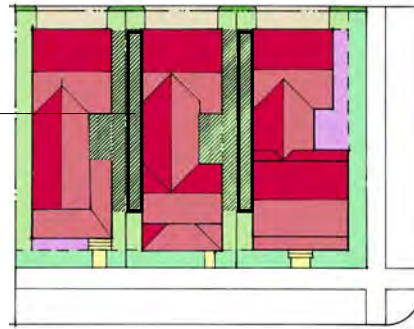
Front yard fences are a permitted upgrade. Rear and side yard fences are permitted for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book.

# Live/Work Townhouse Lots

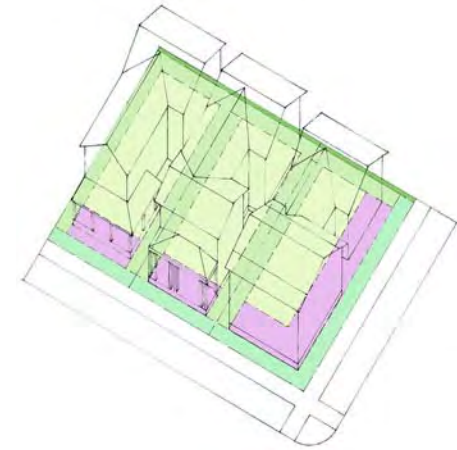




Plan of Grove zones and setbacks



Illustrative plan of Grove house placement on the lot



## Grove Lots – General Conditions

### Lot Size

Grove lots are approximately 30 feet wide by a minimum of 70 feet deep. Corner lots are approximately 35 feet wide.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone. A minimum of 65% of the front facade shall be within the Front Facade Zone.

### Side Yard Setback

Minimum four-foot setback from the side property line.

### Use Easement

Grove houses are designed to be side-yard houses where private open space occurs between units. A side yard use easement shall be used to create functional outdoor space (shown hatched). The easement shall begin at the rear of the Front Facade Zone. Only ground floor clerestory windows are permitted facing neighbors' outdoor space/easement.

### Side Street Setback/ Side Street Facade Zone

Minimum five-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent ten-foot-deep Side Street Facade Zone. A minimum of 30% of the side street facade shall be within the Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Porches and bay windows may encroach up to two feet into both the Front Yard and Side Street Setback Zones.

### Fencing Recommendations

Front yard fences are a permitted upgrade. Rear yard fences are required for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book.

### Open Space Requirement

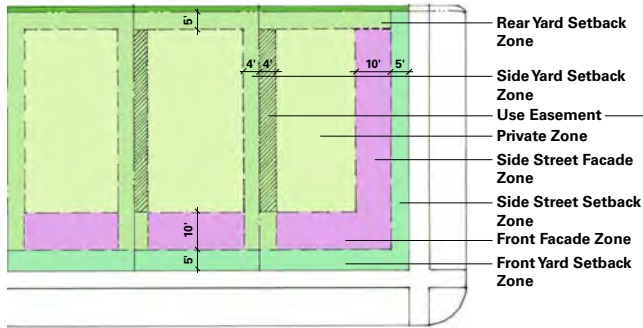
Eight percent of the buildable lot area (Private, Front Facade, and Side Street Facade Zones) shall be maintained as open space.

### Parking

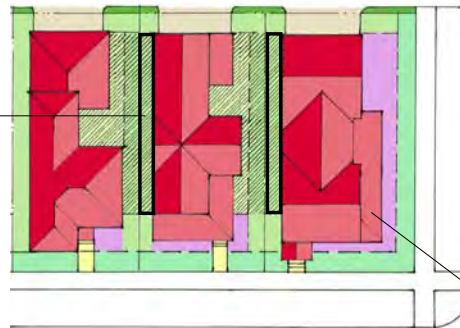
A minimum of two parking spaces per unit is required. Parking shall be covered.

# Grove Lots



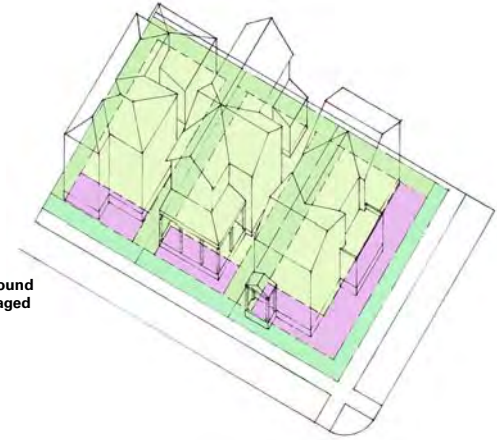


Plan of Garden zones and setbacks



Illustrative plan of Garden house placement on the lot

Side or Wrap Around Porches Encouraged on Corner Lots



## Garden Lots – General Conditions

### Lot Size

Garden lots are approximately 35 feet wide by a minimum of 70 feet deep. Corner lots are approximately 40 feet wide.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone. A minimum of 65% of the front facade shall be within the Front Facade Zone.

### Side Yard Setback

Minimum four-foot setback from the side property line.

### Use Easement

Garden houses are designed to be side-yard houses where private open space occurs between units. A side yard use easement shall be used to create functional outdoor space (shown hatched). The easement shall begin at the rear of the Front Facade Zone. Only ground floor clerestory windows are permitted facing neighbors' outdoor space/easement.

### Side Street Setback/ Side Street Facade Zone

Minimum five-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent ten-foot-deep Side Street Facade Zone. Garage doors must face the rear lane right-of-way. A minimum of 30% of the side street facade shall be within the Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Porches and bay windows may encroach up to two feet into both the Front Yard and Side Street Setback Zones.

### Fencing Recommendations

Front yard fences are a permitted upgrade. Rear yard fences are required for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book.

### Open Space Requirement

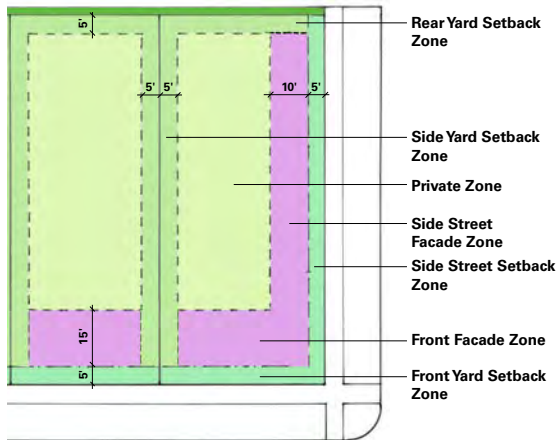
Ten percent of the buildable lot area (Private, Front Facade, and Side Street Facade Zones) shall be maintained as open space.

### Parking

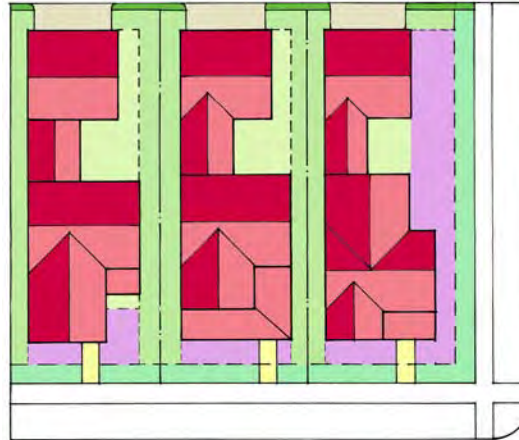
A minimum of two parking spaces per unit is required. Parking shall be covered.



# Garden Lots



Plan of Bungalow zones and setbacks



Illustrative plan of Bungalow house placement on lot



## Bungalow Lots – General Conditions

### Lot Size

Bungalow lots are approximately 40 feet wide by 100 feet deep. Corner lots are approximately 45 feet wide.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 15-foot-deep Front Facade Zone. A minimum of 65% of the front facade shall be within the Front Facade Zone.

### Side Yard Setback

Minimum five-foot setback from the side property line.

### Side Street Setback/ Side Street Facade Zone

Minimum five-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent ten-foot-deep Side Street Facade Zone. Garage doors must face the rear lane right-of-way and are not permitted within the Side Street Facade Zone. A minimum of 30% of the side street facade shall be within the Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Porches and bay windows, if included, must be located within the Front Facade and/or Side Street Facade Zones.

### Garage Requirements

Garages shall be set back a minimum of five feet as required under Rear Yard Setbacks. If the design includes a parking pad, garages shall be set back a minimum of 18 feet from the rear lane right-of-way. A minimum of two parking spaces per unit is required.

### Fencing Recommendations

Front yard fences are a permitted upgrade. Rear and side yard fences are required for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book (page D 11).

### Open Space Requirement

Fifteen percent of the buildable lot area (Private, Front Facade, and Side Street Facade Zones) shall be maintained as open space.

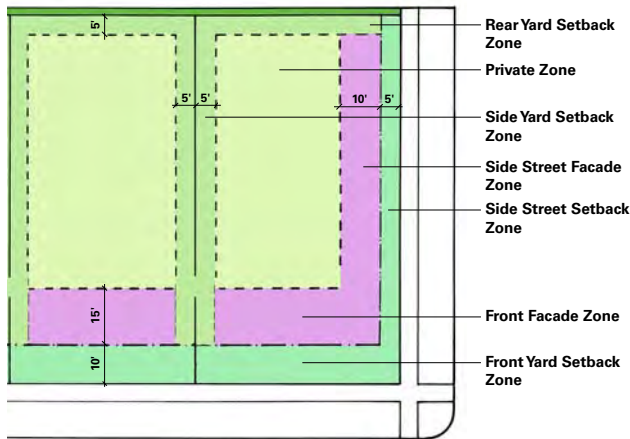
### Accessory Unit (Carriage House)

An accessory unit is permitted over the garage (see Carriage House guidelines, page B 12). A minimum of one additional off-street parking space is to be provided for the accessory unit.

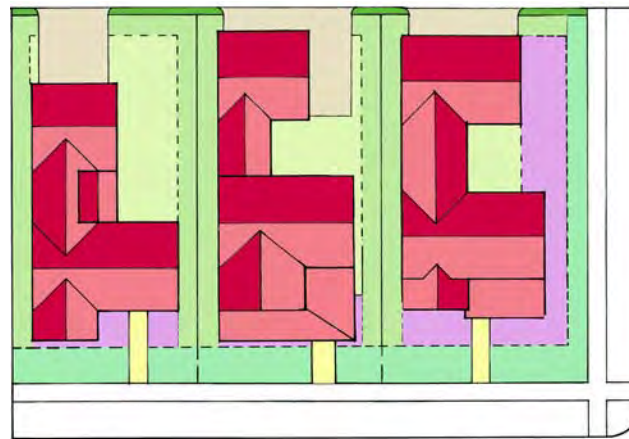


# Bungalow Lots

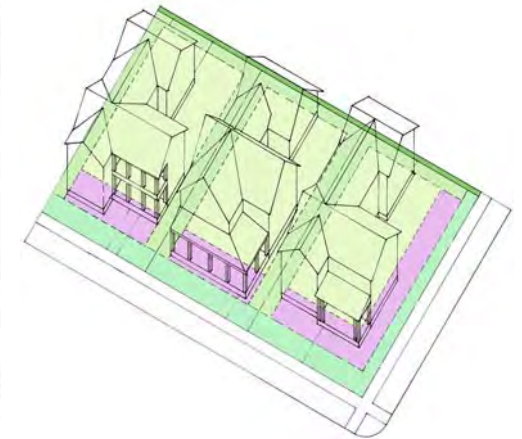




Plan of Village zones and setbacks



Illustrative plan of Village house placement on lot



## Village Lots – General Conditions

### Lot Size

Village lots are approximately 50 feet wide by 100 feet deep. Corner lots are approximately 55 feet wide.

### Front Yard Setback/ Front Facade Zone

Minimum ten-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent 15-foot-deep Front Facade Zone.

### Side Yard Setback

Minimum five-foot setback from the side property line.

### Side Street Setback/ Side Street Facade Zone

Minimum five-foot setback from the side street property line to the house. The side street facade may be located anywhere within the adjacent ten-foot-deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line.

### Encroachments

Porches and bay windows, if included, must be located within the Front Facade Zone and/or Side Street Facade Zones.

### Garage Requirements

Garages shall be set back a minimum of five feet as required under Rear Yard Setbacks. If the design includes a parking pad, garages shall be set back a minimum of 18 feet from the rear lane right-of-way. Pad parking is permitted adjacent to garages. A minimum of two parking spaces per unit is required. A minimum of two spaces shall be covered.

### Fencing Recommendations

Front yard fences are a permitted upgrade. Rear and side yard fences are required for privacy. For additional fencing guidelines, see the Landscape Patterns section of this Pattern Book (page D 11).

### Open Space Requirement

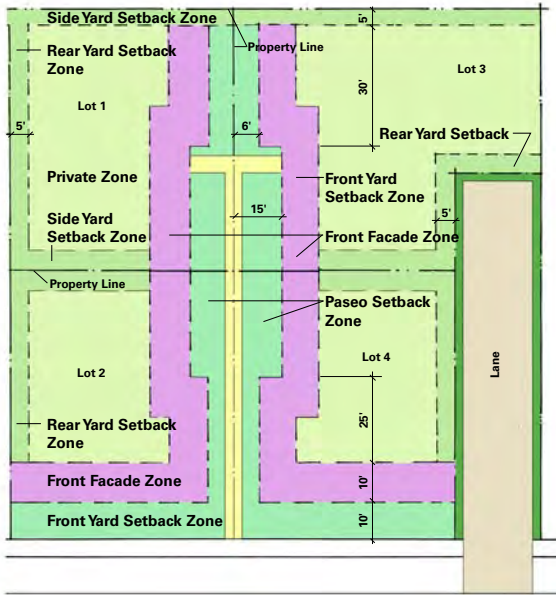
Fifteen percent of the buildable lot area (Private, Front Facade, and Side Street Facade Zones) shall be maintained as open space.

### Accessory Unit (Carriage House)

An accessory unit is permitted over the garage (see Carriage House guidelines, page B 12). A minimum of one additional off-street parking space is to be provided for the accessory unit.



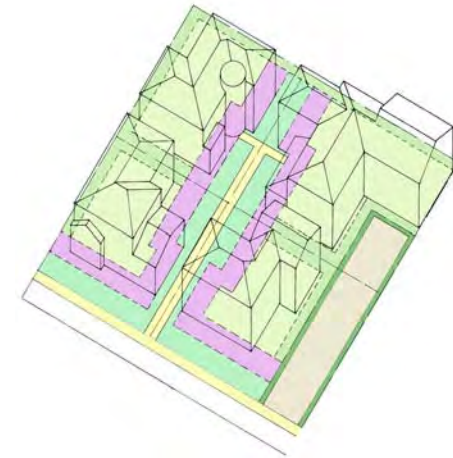
# Village Lots



Plan of Courtyard zones and setbacks



Illustrative plan of Courtyard house placement on lot



## Courtyard Lots – General Conditions

### Lot Size

Courtyard lots are approximately 65 feet wide by 70 feet deep.

### Front Yard Setback/ Front Facade Zone

Minimum ten-foot setback from the front property line to the house. The front facade of the house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone. A minimum of

50% of the front facade shall be within the Front Facade Zone.

### Side Yard Setback

Minimum five-foot setback from the side property line. All setbacks not designated Front or Rear are Side Yards.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the lane right-of-way or the rear property line.

### Garage Requirements

Garages shall be located a minimum of five feet from the rear lane right-of-way. A minimum of two parking spaces per unit is required.

### Fencing Recommendations

Front yard fences are a permitted upgrade. Rear and side yard fences are required for privacy. For permitted fence location and additional fencing guidelines, see the Landscape Patterns section of this Pattern Book (D 11).

### Open Space Requirement

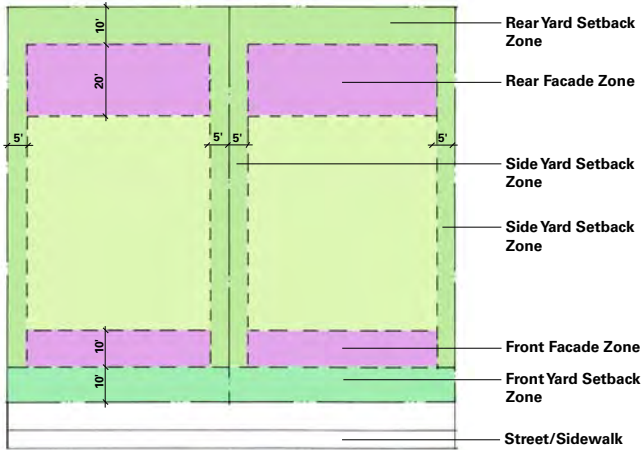
Fifteen percent of the buildable lot area (Private and Front Facade Zones) shall be maintained as open space.

### Accessory Unit (Carriage House)

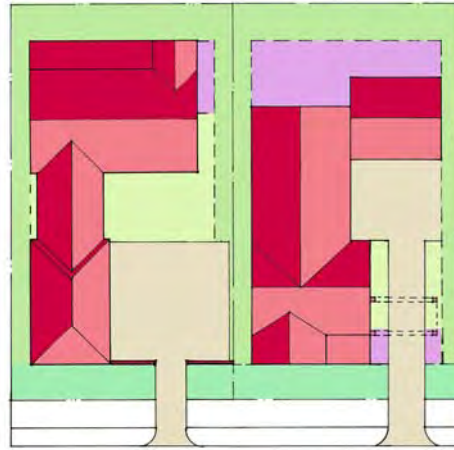
An accessory unit is permitted at the head of the lane over the garage. A minimum of one additional off-street parking space is to be provided for the accessory unit.

# Courtyard Lots

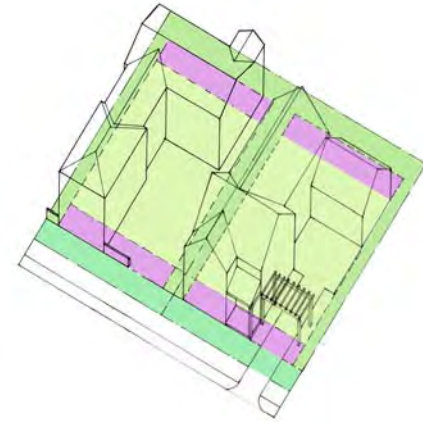




Plan of Bluff zones and setbacks



Illustrative plan of Bluff house placement on lot



## Bluff Lots – General Conditions

### Lot Size

Bluff lots are approximately 50 feet wide by 100 feet deep.

### Front Yard Setback/ Front Facade Zone

Minimum ten-foot setback from the front property line to the house, garage, or carriage house. The street-facing facade of the house, garage, or carriage house may be located anywhere within the adjacent ten-foot-deep Front Facade Zone.

### Side Yard Setback

Minimum five-foot setback from the side property line.

### Rear Yard Setback/Rear Facade Zone

All structures shall be set back a minimum of ten feet from the rear property line. The rear-facing facade of the house may be located anywhere within the adjacent 20-foot-deep Rear Facade Zone.

### Encroachments

No encroachments are permitted in required setbacks, including ancillary structures such as sheds, pools, hot tubs, and mechanical equipment.

### Garage Requirements

Parking courtyards are required. Garage doors shall face parking courtyards. Driveways shall be a maximum of 11 feet wide within the Front Yard Setback and Front Facade Zones.

### Fencing Recommendations

Although not required, front yard fences or walls are encouraged as a permitted upgrade for all Bluff lots. These shall be placed two feet from the front property line. For additional fencing requirements, see the Landscape Patterns section of this Pattern Book.

### Open Space Requirement

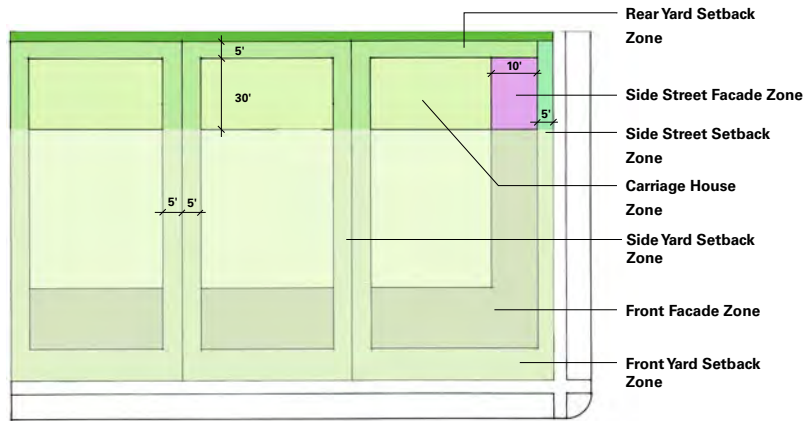
Twenty percent of the buildable lot area (Private, Front Facade, and Rear Facade Zones) shall be maintained as open space.

### Accessory Unit (Carriage House)

An accessory unit is permitted over the garage. A minimum of one additional off-street parking space is to be provided for the accessory unit.

# Bluff Lots





Plan of zones and setbacks



Illustrative plan of Carriage House placement on a lot

## Carriage Houses – General Conditions

### Lot Size

Carriage houses are permitted on Bungalow, Village, Bluff, and also on Courtyard lots (where feasible). The conditions illustrated above apply only to carriage houses on Bungalow and Village lots. Individual lot conditions will dictate placement of carriage houses on Bluff and Courtyard lots. Seventy carriage house lots will be designated, divided equally into each phase (23 in the first phase and 24 in the second), and concurrent with filing the Final Map for each phase. The carriage house rights may be relocated to another lot within the same phase.

### Main Body

Carriage houses range from approximately 22 to 36 feet in width by approximately 22 to 27 feet deep; these units are placed above two- or three-car garages. The maximum floor area for a carriage house is 700 square feet.

### Side Yard Setback

The minimum setback from the side property line shall be in congruence with the side yard setback requirement for the corresponding lot type.

### Side Street Setback / Side Street Facade Zone

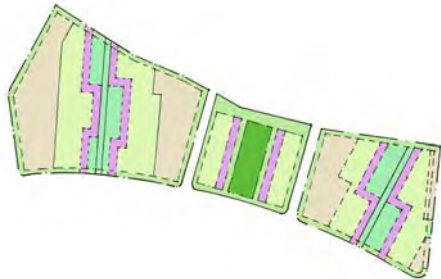
Minimum five-foot setback from the side street property line to the carriage house. The side street facade may be located anywhere within the adjacent ten-foot-deep Side Street Facade Zone.

### Carriage House Requirements

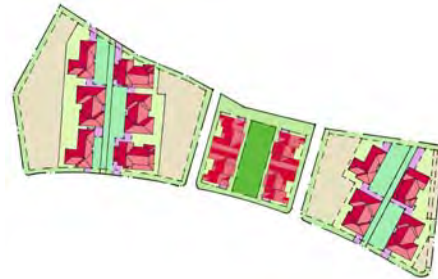
Carriage houses shall be set back a minimum of five feet from the rear property line. One additional off-street parking space is required to accommodate the parking for the carriage house. It may be a parking pad, carport, or garage space.

# Carriage Houses





Illustrative diagram of zones and setbacks on Site A



Illustrative plan showing possible building placement on Site A

- Setback Zone
- Front Facade Zone
- Building Zone
- Apartment Paseo
- Townhouse Paseo
- Parking



Illustrative view of Court Apartments

## Court Apartments/Townhomes – General Conditions, Site A

Apartment and townhome sites in East Garrison are included in the neighborhoods adjacent to a variety of other lot types. In the Phase 1 and Phase 2 neighborhoods, there are sites designated for Court Apartments/Townhomes. Buildings will be designed in the Mediterranean Revival style, and arranged on the site to create a series of courtyard and garden spaces as a shared public address. Walkways and passages will link the courts and gardens to surface parking areas. More private common areas are located between the parking areas and the buildings. Apartments over garages are encouraged. See Table 3.9 for permitted building heights.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the unit. The front facade of the unit may be located anywhere within the adjacent fifteen-foot-deep Front Facade Zone.

### Side Yard Setback

Since the units are multi-family, there is no required side yard setback. See side street setback requirements for regulations concerning corner units.

### Side Street Setback/ Side Street Facade Zone

A minimum five-foot setback from the side street property line to the unit. The side street facade may be located anywhere within the adjacent fifteen-foot-deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line. All structures shall also be set back a minimum of 15 feet from the centerline of driving lanes.

### Minimum Building Spacing

Buildings must be a minimum of ten feet apart.

### Encroachments

Porches, bay windows, if included, may encroach up to two feet into both the Front Yard and Side Street Setback Zones.

### Parking Requirements

See Section 3.5.4 Parking Requirements in the EGSP.

### Fencing Requirements

Front yard fences are a permitted upgrade. Rear and side yard fences are permitted for privacy. Privacy fencing is also required around recycling and trash

areas. Screening from ground-level view shall be placed on all sides and shall be of the same finishing material used on the principal building.

### Open Space Requirements

In addition to required perimeter setbacks, parking areas, and driving lanes, Court Apartment/Townhomes parcels have a 15% open space requirement. A minimum of one tot lot is required.

### Plan Review

In addition to approval by the Design Review Committee, the Salinas Rural Fire District must approve fire access in the final site plan.

### Refuse Storage

Refuse containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Recycling and trash containers shall have separate access.

# Court Apartments/Townhomes – Site A





Illustrative diagram of zones and setbacks on Site B



Illustrative plan showing possible building placement on Site B

- Setback Zone
- Front Facade Zone
- Building Zone
- Townhouse Paseo
- Parking



Illustrative view of Court Apartments

## Court Apartments/Townhomes – General Conditions, Site B

Apartment and townhome sites in East Garrison are included in the neighborhoods adjacent to a variety of other lot types. In the Phase 1 and Phase 2 neighborhoods, there are sites designated for Court Apartments/Townhomes. Buildings will be designed in the Mediterranean Revival style, and arranged on the site to create a series of courtyard and garden spaces as a shared public address. Walkways and passages will link the courts and gardens to surface parking areas. More private common areas are located between the parking areas and the buildings. Apartments over garages are encouraged. See Table 3.9 for permitted building heights.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the unit. The front facade of the unit may be located anywhere within the adjacent fifteen-foot-deep Front Facade Zone.

### Side Yard Setback

Since the units are multi-family, there is no required side yard setback. See side street setback requirements for regulations concerning corner units.

### Side Street Setback/ Side Street Facade Zone

A minimum five-foot setback from the side street property line to the unit. The side street facade may be located anywhere within the adjacent fifteen-foot-deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line. All structures shall also be set back a minimum of 15 feet from the centerline of driving lanes.

### Minimum Building Spacing

Buildings must be a minimum of ten feet apart.

### Encroachments

Porches, bay windows, if included, may encroach up to two feet into both the Front Yard Setback, Side Street Setback, and Townhouse Paseo Zones.

### Parking Requirements

See Section 3.5.4 Parking Requirements in the EGSP.

### Fencing Requirements

Front yard fences are a permitted upgrade. Rear and side yard fences are permitted for privacy. Privacy fencing is also required around recycling and trash

areas. Screening from ground-level view shall be placed on all sides and shall be of the same finishing material used on the principal building.

### Open Space Requirements

In addition to required perimeter setbacks, parking areas, and driving lanes, Court Apartment/Townhomes parcels have a 15% open space requirement. A minimum of one tot lot is required.

### Plan Review

In addition to approval by the Design Review Committee, the Salinas Rural Fire District must approve fire access in the final site plan.

### Refuse Storage

Refuse containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Recycling and trash containers shall have separate access.



## Court Apartments/Townhomes – Site B



Illustrative diagram of zones and setbacks

Illustrative plan showing possible building placement



Illustrative view of Garrison Homes

## Garrison Apartment Homes – General Conditions

The Garrison Apartment Homes, a mix of condominiums, lofts, apartments, and/or townhouses, will be part of the Phase 3 Arts District. These buildings should be designed in the Garrison Revival style. There are two key elements for this site: 1) parking shall be screened from the street by building placement, and 2) a pedestrian commons, on axis with the north/south street, shall be established to create relief within the parcel. A series of verges with a mix of plant types and shade trees will line the street as a front yard treatment for the Garrison Apartment Homes.

### Front Yard Setback/ Front Facade Zone

Minimum five-foot setback from the front property line to the unit. The front facade of the unit may be located anywhere within the adjacent fifteen-foot-deep Front Facade Zone.

### Side Yard Setback

Since the units are multi-family, there is no required side yard setback. See side street setback requirements for regulations concerning corner units.

### Side Street Setback/ Side Street Facade Zone

A minimum five-foot setback from the side street property line to the unit. The side street facade may be located any-

where within the adjacent fifteen-foot-deep Side Street Facade Zone.

### Rear Yard Setback

All structures shall be set back a minimum of five feet from the rear property line. All structures shall also be set back a minimum of 15 feet from the centerline of driving lanes.

### Minimum Building Spacing

Buildings must be a minimum of ten feet apart.

### Encroachments

Porches and bay windows, if included, may encroach up to two feet into both the Front Yard and Side Street Setback Zones.

### Parking Requirements

See Section 3.5.4 Parking Requirements in the EGSP.

### Fencing Requirements

Front yard fences are a permitted upgrade. Rear and side yard fences are permitted for privacy. Privacy fencing is also required around recycling and trash areas. Screening from ground-level view shall be placed on all sides and shall be of the same finishing material used on the principal building.

### Open Space Requirements

In addition to required perimeter setbacks, parking areas and driving lanes, the Garrison Apartment Homes parcel has a 15% open space requirement. A minimum of one tot lot is required on this site.

### Plan Review

In addition to approval by the Design Review Committee, the Salinas Rural Fire District must approve fire access in the final site plan.

### Refuse Storage

Refuse containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Recycling and trash containers shall have separate access.



# Garrison Apartment Homes



Illustrative diagram of zones and setbacks



Illustrative plan showing possible building placement

- Setback Zone
- Front Facade Zone
- Building Zone
- Parking



Illustrative view of the Town Center

## Garrison Town Center – General Conditions

### Front Yard Setback/ Front Facade Zone

Minimum ten-foot setback from the face of the property line. The front facade of the buildings may be located anywhere within the adjacent ten-foot-deep Front Facade Zone.

### Side Yard Setback

Minimum five-foot setback from the side property line.

### Side Street Setback/Side Street Facade Zone

Minimum five-foot setback from the side street property line to the building. The side street facade may be located

anywhere within the adjacent ten-foot-deep Side Street Facade Zone

### Rear Yard Setback/Rear Facade Zone

All structures shall be set back a minimum of seven feet from the edge of parking and/or rear property line. Minimum setback to parking is five feet from the rear property line.

### Encroachments

Porches, bay windows, balconies, and awnings, if included, may encroach up to five feet into the Setback Zones, but not over the property line.

### Parking Requirements

See Section 3.5.4 Parking Requirements in the EGSP.

### Fencing Recommendations

Fencing in the Setback Zones is prohibited. Rear Yard fencing, 36" high, is permitted. Privacy fencing is required around recycling and trash areas. Screening from ground level view shall be placed on all sides and shall be of the same finishing material used on the principal building.

### Open Space Requirement

In addition to the Town Square, the Town Center has an open space requirement within parking lots. The total area required for landscaping within the parking lot is determined by multiplying the number of spaces by 20 square feet.

The minimum landscape area may not be less than 36 square feet. Other than the Town Square and parking lot landscaping, no additional open space is required in the Town Center.

### Refuse Storage

Commercial units shall maintain separate refuse and recycling storage containers from those used by residents. These containers will be integrated into off-street parking areas behind buildings. They must be of sufficient size to meet required trash and recycling needs. Refuse storage areas shall be clearly designated. Commercial and residential refuse storage must be separated.

### Residential Density

The residential density allowed within the area designated as Town Center/ Mixed-Use (TC) shall not exceed 34 units/acre. The density of residential development allowed on any parcel within the site should take into account site-specific considerations including but

not limited to topography, economics, ground-floor uses, provision for affordable housing, and market conditions along with the capability of a proposed development project to further the specific goals, policies, and objectives of the General Plan. Residential units are not permitted on the ground floor.



# Garrison Town Center



Lot Type	Uses	Lot Size		Facade Zones		Setbacks		Off-Street Parking	Encroachments
		Width	Depth	Front	Side St.	Side Yd.	Rear		
<b>Townhouse Lots</b>	Attached Single-Family Residential	18' to 30'	70'	5' to 15'	5' to 10'	n/a	5'	2 Spaces	Porches and/or Bay Windows: 2' into the Front Yard and Side Street Setback Zones
<b>Live/Work Townhouse Lots</b>	Attached Single-Family Residential w/ Ground-Floor, Non-Residential Uses	18' to 30'	70'	0' to 10'	5' to 10'	n/a	5'	2 Spaces	Bay Windows: 2' into the Side Street Setback Zone
<b>Grove Lots</b>	Single-Family Residential Detached	30' to 35'	70'	5' to 15'	5' to 15'	4'	5'	2 Spaces	Porches and/or Bay Windows: 2' into the Front Yard and Side Street Setback Zones
<b>Garden Lots</b>	Single-Family Residential Detached	35' to 40'	70'	5' to 15'	5' to 15'	4'	5'	2 Spaces	Porches and/or Bay Windows: 2' into the Front Yard and Side Street Setback Zones
<b>Bungalow Lots</b>	Single-Family Residential Detached	40' to 45'	100'	5' to 20'	5' to 15'	5'	5'	2 Spaces	None permitted
<b>Village Lots</b>	Single-Family Residential Detached	50' to 55'	100'	10' to 25'	5' to 15'	5'	5'	2 Spaces	None permitted
<b>Courtyard Lots</b>	Single-Family Residential Detached	65'	70'	10' to 20'	n/a	5'	5'	2 Spaces	None permitted
<b>Bluff Lots</b>	Single-Family Residential Detached	50'	100'	10' to 20'	n/a	5'	10'	2 Spaces	None permitted
<b>Carriage Houses</b>	Accessory Units	varies		n/a	5' to 15'	5'	5'	1 Space	None permitted

Note: Eaves are permitted to encroach into setbacks and required open space.

## Summary of Lot Specifications