

# Section 1 Introduction





# Introduction

## 1.1 VISION

The original vision for East Garrison is expressly stated in the goals and objectives from the Fort Ord Reuse Plan and the County of Monterey General and Redevelopment Plans: create a mixed-use urban village (housing, commercial uses, and public facilities) that is a pedestrian-friendly, compact, planned development. Furthermore, the development should also preserve the historic character of the site and adhere to the Fort Ord Habitat Management Plan.

The vision for East Garrison was further refined by stakeholders at a design workshop held in November 2001. This vision calls for creating a new community based on the principles of Smart Growth, Sustainable Development and Traditional Neighborhood Design. Local places such as Spreckels, Pacific Grove, and Salinas were identified as models for many of these principles. These places provide a diverse mix of quality homes of different sizes, shapes, materials, and colors. They have civic uses, churches, public places, open spaces, parks, and neighborhood shopping opportuni-



FIGURE 1.1 Aerial photograph of East Garrison and Parker Flats

ties. Above all, these local precedents have character and a sense of community.

Stakeholders concluded a high-density, compact, and people-friendly place should be built at East Garrison. This abandoned military base site will be transformed into a vibrant, mixed-income, mixed-use community that includes the best qualities of traditional American towns – affordable housing, walkable streets,



FIGURE 1.2 Illustrative view of proposed Artists' Housing

readily accessible amenities, character, and attractive neighborhoods. It will be a place where artists thrive and cultural heritage is celebrated. It will have shops and community services. It will be sensitive to the environment. Designed on a human scale, and with respect for the surrounding natural habitat, East Garrison will be a welcome new member of the Monterey County community.



FIGURE 1.3 Monterey Market

East Garrison will serve as a model of successful private/public partnership not only because the Redevelopment Agency (Agency), as the land seller, will receive a percentage of the net profits, but also because the County, as well as many other stakeholders, have been invited to participate in the design and the goals of the project as part of the cooperative and inclusive planning process.

Drawing on the stated goals of the stakeholders, the Development Team created a Smart Growth Checklist (Table 1.1) by which to measure the development of the plan for East Garrison.

## 1.2 PLAN GOALS

### 1.2.1 Economic Goals

- Create a public/private partnership that is financially feasible and fiscally responsible; one in which the Agency, as the land seller, receives a part of its compensation as a percentage of the net profits.
- Ensure new development pays for 100% of infrastructure and services needed to support the new community.
- Establish mechanisms for maintaining and operating private infrastructure.
- Design efficient infrastructure systems that minimize impacts on the environment.



FIGURE 1.4 Abandoned buildings at East Garrison

# East Garrison Smart Growth Checklist

## PROXIMITY TO EXISTING/FUTURE DEVELOPMENT AND INFRASTRUCTURE

- ✓ Adjacent to roads, power, water, and sewer service
- ✓ Walking distance to transit
- ✓ Adjacent to or includes food/convenience/retail/services
- ✓ Adjacent to or includes employment, entertainment, recreation
- ✓ Located within designated growth/redevelopment area

## MIX AND BALANCE OF USES

- ✓ Include full spectrum housing opportunities
- ✓ Provide employment, housing, neighborhood-serving retail
- ✓ Provide civic, educational, cultural, recreational uses
- ✓ Provide street-level uses that generate pedestrian activity
- ✓ Provide a mix of uses

## SITE OPTIMIZATION AND COMPACTNESS

- ✓ Maximize allowable floor-area ratio
- ✓ Maximize dwelling unit/acreage density
- ✓ Maximize usable open space for gathering and recreation
- ✓ Locate buildings at minimum setbacks or at “build-to” lines

## ACCESSIBILITY AND MOBILITY CHOICES

- ✓ Provide pedestrian amenities for transit
- ✓ Build adequate sidewalks
- ✓ Provide direct street connections
- ✓ Locate parking facilities behind buildings
- ✓ Facilitate connections to existing or planned parks, open space
- ✓ Provide bike racks and paths

## ENVIRONMENTAL QUALITY

- ✓ Recycle materials that result from deconstruction of existing infrastructure
- ✓ Maximize energy efficiency of buildings
- ✓ Use Green building materials when feasible
- ✓ Use energy conservation equipment, systems, and/or programs
- ✓ Use water conservation systems
- ✓ Consider solar access in site design
- ✓ Protect, preserve and/or restore natural features such as steep slopes, habitat
- ✓ Create and maintain buffers around natural areas
- ✓ Use native plant species
- ✓ Establish recycling program for residents

## FINE-GRAINED BLOCK, PEDESTRIAN PARK NETWORK

- ✓ Construct street network on a grid system
- ✓ Use short block lengths
- ✓ Connect pedestrian system to civic, cultural, retail/service
- ✓ Develop a hierarchy of park types and sizes

## COMMUNITY CONTEXT AND SITE DESIGN

- ✓ Preserve existing buildings/structures
- ✓ Have buildings reflect local historic building materials, styles, and/or design
- ✓ Relate scale and mass of buildings to neighborhood structures
- ✓ Include strong connections to adjacent natural features
- ✓ Design automobile access to have minimum impact on pedestrian experience
- ✓ Create or enhance community spaces such as plazas, squares, and parks
- ✓ Focus landscaping and lighting on the pedestrian experience

## DIVERSITY

- ✓ Vary building types and styles
- ✓ Include locally owned businesses in project
- ✓ Provide a wide range in pricing structure of units sold or leased
- ✓ Price at least 20% of the units for very low and moderate incomes
- ✓ Vary densities in both residential and commercial employment units
- ✓ Vary setbacks
- ✓ Vary residential lot sizes
- ✓ Address need for civic facilities

## PROCESS COLLABORATION AND PREDICTABILITY OF DECISIONS

- ✓ Conduct pre-design workshops/charrettes with stakeholders, agencies, and public
- ✓ Use public outreach to obtain input regarding project vision, goals, and timetable
- ✓ Provide project model
- ✓ Identify and incorporate community objectives
- ✓ Create public/private partnership in which the County and other stakeholders participated in the design and goals of the project
- ✓ Maintain contact with County staff in all key departments

TABLE 1.1 Smart Growth Checklist

- Create a mixed-income community with a range of housing opportunities across the economic spectrum (“affordable by design”).

### 1.2.2 Environmental Goals

- Target development to areas where impacts on the environment will be avoided or minimized.
- Create a compact, efficient community with a minimal footprint.
- Integrate the surrounding native habitats into the open spaces within the community.
- Create buffers around the community that help transition from a native habitat/ecosystem to an urban habitat/ecosystem.
- Encourage multi-modal transportation opportunities, especially bicycle, pedestrian, and transit by providing a compact mix of uses, small blocks, interconnected streets, sidewalks, and traffic-calming measures such as traffic circles and bulbouts.
- Reduce groundwater consumption with water reclamation programs, drought-tolerant landscaping, and groundwater recharge efforts.
- Support all provisions of the Habitat Management Plan (April 1997), as amended.
- Collaborate with Monterey-Salinas Transit (MST) and California State University at Monterey Bay (CSUMB) to assure the entire community is well served with transit.



FIGURE 1.5 Illustrative view of the Town Center



FIGURE 1.6 Illustrative view of a neighborhood street

- Minimize the amount of impervious surfaces by minimizing widths of streets.

### 1.2.3 Social Goals

- Create a diverse mixed-income community with a full spectrum of life cycle housing opportunities.
- Celebrate the history of the site by reusing existing buildings and structures where feasible.
- Create a destination for artists that imbues the entire community with a creative spirit.

## 1.3 PROJECT DESCRIPTION

The East Garrison Specific Plan (EGSP) proposes the development of a new community with mixed uses, residential, cultural, and open space land uses on 244 acres at Fort Ord. The community will consist of three residential neighborhoods surrounding a mixed-use town center. The EGSP allows for the construction of up to 1,400 residential units plus up to 70 accessory (carriage house) units, 75,000 square feet of commercial space, 11,000 square feet of institutional uses, and 100,000 square feet of artist studio space. In addition, the Plan contains approximately 50 acres of open space, parks and natural areas.

Housing in the Phase 1 and 2 neighborhoods will consist of several different building types ranging from apartment residences to single-family detached houses. Houses in these neighborhoods will be constructed



FIGURE 1.7 Illustrative view of attached housing

in one of four vernacular styles: Garrison Revival, Picturesque Camp, Mediterranean Revival, or Garrison Craftsman.

The Arts District, the third neighborhood, will consist of both new buildings and the renovation of 24 existing structures. The artist area within the Arts District will consist of up to 65 live/work units, a theater, studio spaces, performance space, and a park.

The Town Center will be responsive to market demands and built gradually over time. The Development Agreement (between East Garrison Partners I, LLC and The Redevelopment Agency of the County of Monterey) requires a minimum of 34,000 square feet of retail and civic space; however the Town Center is being designed to accommodate up to 75,000 square feet of commercial space if the market exists. The uses in the Town Center will include live/work units, community-scale institutional/ retail uses, apartments or condominiums, and public uses such as a post office and/or library/community center.

The community will be served by a variety of different type parks and open spaces: public parks, greenways, natural areas, and landscaped streets. Each neighborhood will have public parks. These parks will be maintained and irrigated. They will include tot lots, sports fields, and greens. Greenways and non-irrigated natural areas will surround the community and integrate the community with the surrounding

open space. Recreational opportunities will include passive and active play in these areas, as well as bicycling, walking, and jogging through all the parks and streets in the community.

A large, 7.6 acre community park will be located in the middle of the community, accessible to all neighborhoods. This park will contain ball fields, a soccer field, basketball courts, and a tot lot.

The streets are designed to be pedestrian-friendly and all will have sidewalks on one or both sides. Main streets will have Class 2 bike lanes. The pedestrian and bike systems will link to the surrounding Fort Ord and Monterey County network.

Water will be provided by the Marina Coast Water District (MCWD). The MCWD water supply comes primarily from groundwater wells. Reclaimed water will be used if it becomes available. Necessary infrastructure will be built or easements will be established to accommodate reclaimed water. Storm water will be collected on site and distributed to several detention ponds where it will be allowed to percolate back into the aquifer.

## 1.4 SPECIFIC PLAN AUTHORIZATION

### 1.4.1 State Authority

The EGSP is authorized by Section 65450 et seq. of the California Government Code. The EGSP is also a condition of the Option Agreement signed by and between the Redevelopment Agency of Monterey County and East Garrison Partners I, LLC in January 2003, and consented to by the County of Monterey in February 2003.

As set forth in the Government Code, Specific Plans must contain the information outlined below. The location of this information in the EGSP is shown in bold following each item.

- The distribution, location and extent of the uses of land including open space within the area covered by the EGSP (**Section 3: Land Use and Section 4: Infrastructure**).

- The proposed distribution, location, and extent of major components of public and private transportation, sewage, water drainage, waste disposal, energy, and other essential facilities needed to support the land uses proposed in the EGSP. (**Section 4: Infrastructure**).
- Standards and Criteria by which development will proceed and standards of conservation, development, and utilization of natural resources (**Section 3: Land Use and Appendix A: East Garrison Pattern Book**).
- A program of implementation measures including development regulation, capital improvements, public works projects, and financing measures (**Section 3: Land Use and Section 5: Implementation**).
- A statement of the relationship of the Specific Plan to the General Plan. (**Section 1: Introduction and Appendix C: Consistency Analysis**).

Technical Appendices of the East Garrison Specific Plan and the EIR are as follows:

**Appendix A**

East Garrison Pattern Book: Urban Design Associates

**Appendix B**

East Garrison Historic District Design Guidelines: Architectural Resources Group

**Appendix C**

East Garrison Specific Plan Consistency Analysis

**Appendix D**

Fort Ord, East Garrison Historical Resource Assessment: Architectural Resources Group

**Appendix E**

Biological Survey: Zander Associates

**Appendix F**

Archaeological Survey Report: Michael Brandman Associates

**Appendix G**

Preliminary Geotechnical Exploration: ENGEIO Incorporated

**Appendix H**

Noise Assessment: Giroux and Associates

**Appendix I**

Traffic Study: TJKM and Higgins and Associates

**Appendix J**

Air Quality Assessment: Giroux and Associates

**Appendix K**

Hydrology: Carlson, Barbee & Gibson, Inc.

**Appendix L**

Fiscal Impact: Economic Planning Systems

**1.4.2 Monterey County Authority**

The East Garrison Specific Plan is required by the General Plan as stated below:

*“Program E-1.2: The County of Monterey shall prepare one or more Specific Plans for the East Garrison District ...”*

**1.5 RELATIONSHIP TO OTHER PLANS**

This Specific Plan seeks to fulfill the goals, objectives, and policies of the 1982 Monterey General Plan, the Greater Monterey Peninsula Area Plan, and all related Plans. The EGSP contains considerable detail related to the regulations, standards, and guidelines required to implement the vision of a new community at East Garrison.

**1.5.1 Monterey County General Plan**

The Monterey County General Plan was adopted by the Board of Supervisors in 1982. The General Plan provides a general direction for future growth throughout the unincorporated areas of Monterey County. The general theme of the Monterey County General Plan is to promote balanced growth throughout the County in a manner that protects the County’s exquisite but fragile natural resources.

Adopted in 1982, the Monterey County General Plan did not consider or foresee the eventuality of deactivating Fort Ord. However, in 1994, the state legislature created the Fort Ord Reuse Authority (FORA)



to guide development of all lands within the former Fort Ord. The statutory scheme for FORA requires that all jurisdictions developing on Fort Ord be consistent with FORA’s Base Reuse Plan, which was adopted in June 1997. In 2001, the County of Monterey adopted a 2001 General Plan Amendment (GPA) and the County Redevelopment Agency adopted a Redevelopment Plan for the Fort Ord area. The Board of Supervisors found the Redevelopment Plan was consistent and in conformance with the GPA. The FORA Board found the County’s GPA and the Redevelopment Plan were consistent with FORA’s Base Reuse Plan. In addition to the policies in the 2001 GPA, the FORA Plan contains numerous general policies, objectives, and programs related to natural resources, housing, circulation, human services,

and economic development that apply to all development in the County, and to the extent they do not conflict with the GPA policies, objectives, and programs, apply to the proposed development at East Garrison.

A consistency analysis of the EGSP and Monterey County General Plan is provided as Appendix C to this document. This analysis explains how the Specific Plan implements the goals, objectives, and programs of the General Plan.

1.5.2 Greater Monterey Peninsula Area Plan

The Monterey County General Plan designated eight separate non-coastal areas of the County for which “Area Plans” were required to be created. The Greater Monterey Peninsula is one such area. The Greater Monterey Peninsula Area Plan extends from the Salinas Valley on the north and east to the Carmel Valley on the south. East Garrison defines a portion of the Area Plan’s northern boundary. The Greater Monterey Peninsula Area Plan was adopted in 1984. The Greater Monterey Peninsula Area Plan did not anticipate the closure of Fort Ord.

A consistency analysis of the East Garrison Specific Plan and the Greater Monterey Peninsula Area Plan is provided as Appendix C to this document. This analysis explains how the Specific Plan implements the goals, objectives, and programs of the Area Plan.

1.5.3 Fort Ord Reuse Plan

The Fort Ord Reuse Plan (FORA Plan), adopted June 1997, describes the broad concepts for redevelopment of the Fort Ord military reservation. One of the primary efforts of the Reuse Plan is to assure that redevelopment of the Fort results in a balance of jobs and housing. As such, the FORA Plan establishes the basis for redevelopment, including build-out and phasing of approximately 3.6 million square feet of office and industrial space, 11,000 new households, 0.75 million square feet of retail, and approximately 800 hotel rooms. Much of the office and industrial space is designated for the UCMBEST property across Reserva-

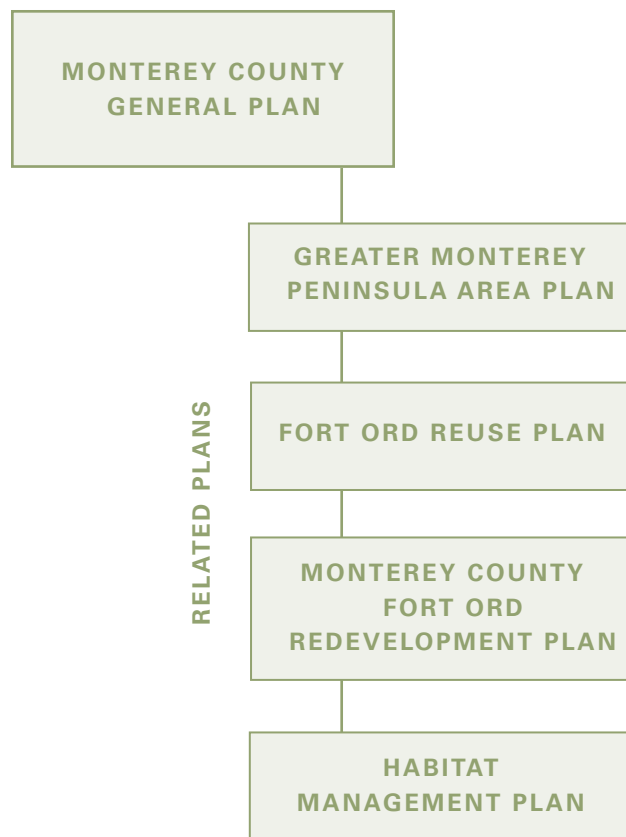


FIGURE 1.8 Monterey County General Plan and related plans

tion Road. The Plan establishes thirteen separate planning areas and distributes the above development projections into these planning areas. The Plan also establishes an infrastructure and open space framework necessary to serve the significant redevelopment on the site. Monterey County has jurisdiction over only a portion of Fort Ord. As required by state law, Monterey County is required to develop its Fort Ord lands in a manner which is consistent with the FORA Plan. The County’s 2001 General Plan Amendment and 2001 Redevelopment Plan have been found consistent with the FORA Plan.

East Garrison is located in the FORA Plan’s Reservation Road Planning Area. The Fort Ord Reuse Plan originally proposed several uses for the East Garrison District: a Mixed-Use Urban Village and Employment Center as well as a Police Officer Training Center that would include an emergency vehicle operations course, a leadership reaction course, and a practice shooting range. However, the Fort Ord Reuse Plan is implemented through the 2001 County General Plan Amendment, which provides for a Mixed-Use Urban Village and Employment Center and other public and institutional uses. The Police Officer Training Center has been relocated to the Parker Flats area of Fort Ord.

The EGSP implements the Fort Ord Reuse Plan by:

- Accommodating the proposed 2015 Transportation Network by improving Reservation Road and creating a connection between Inter-Garrison Road and Watkins Gate Road,
- Creating a mixed-use village,
- Implementing the Habitat Management Plan, as amended,
- Limiting water use/demand to 470 acre-feet/year,
- Providing park space in accordance with the Quimby Act,

- Providing trail heads connecting the East Garrison to the regional trail system,
- Providing a Pedestrian and Bicycle Systems Plan,
- Assuring a broad multimodal transit network is accommodated,
- and
- Providing housing near jobs.

**1.6 PLAN ADOPTION**

The EGSP has been adopted by the Monterey County Board of Supervisors as an ordinance. The Specific Plan and Pattern Book establish the regulations, design standards, and requirements for construction of the infrastructure required to support this new Urban Village.

**1.7 CEQA COMPLIANCE**

Adoption or amendment of a Specific Plan constitutes a project under the California Environmental Quality Act (CEQA). Environmental Impact Report (EIR) SCH2003081086 was prepared in accordance with CEQA (Section 15146 and 15180) to analyze the potential environmental impacts of the proposed East Garrison development. The EIR was prepared in conjunction with the development of the Specific Plan and mitigation measures were incorporated into the Plan as potential impacts were identified.

The EIR addresses the environmental impacts associated with the EGSP, Development Agreement, Tentative Subdivision Map, Disposition and Development Agreement, the transfer to the project of 470 acre-feet per year of water from the County’s Fort Ord water allocation, formation of a Community Facilities District, annexation to the Salinas Rural Fire District, all associated County land use and regulatory approvals, construction of the project, and the impacts of the built-out community. The project site, its background, and details of the project are described within the body of this Specific Plan.

**1.8 HOW TO USE THE PATTERN BOOK AND SPECIFIC PLAN**

Upon adoption, the Specific Plan will serve as a regulatory tool in the development of East Garrison. The Specific Plan is a document to be used by designers, developers, builders, planners, and regulators.

The Pattern Book portion of the Specific Plan illustrates and defines the basic parameters of all private development in East Garrison – from the scale of the commercial uses to the scale of the community. The Pattern Book defines appropriate architectural styles as well as traditional zoning criteria for height, setbacks, and parking. The Pattern Book also establishes development standards and land use designations for East Garrison and is part of the administrative document governing the development.

Development standards set forth in the Pattern Book are intentionally clear and direct. As a design tool, it is flexible. Developers are expected to use the Pattern Book for design guidance pointing them in a direction that helps assure that the necessary approvals and entitlements are granted.



FIGURE 1.9 Page from the East Garrison Pattern Book



FIGURE 1.10 From House to Community

**1.9 PLANNING PROCESS**

The planning process for East Garrison began in 1990 with formation of the Fort Ord Community Task Force. The Task Force was established by Congressman Leon Panetta in anticipation of the deactivation of Fort Ord by the Secretary of Defense. In 1994 Fort Ord was officially deactivated. In June 1997, FORA adopted the Fort Ord Reuse Plan and Environmental



FIGURE 1.11 November 2001 Stakeholder Workshop 1

Impact Report, which designates the East Garrison property for future development activities. Highlights of the planning process have included:

**October 2001 Public Presentation**

An informational presentation was made to the Monterey County Board of Supervisors on Smart Growth, Sustainable Development and Traditional Neighborhood Design Principles as they relate to proposed development on County land within Fort Ord.

**November 2001 Stakeholder Workshop 1**

A three-day stakeholder workshop was held at the Battle Simulation Building at East Garrison. The goal of this workshop was to have stakeholders work collaboratively on a land swap that amicably resolved overlapping stakeholder claims. An additional goal was to create a conceptual master plan for all stakeholders and habitat preserve at both the East Garrison and Parker Flats sites. Participants included: Arts Habitat, Monterey Equestrian Park, Monterey Peninsula College and the State Parks District-Regional Law Enforcement Training Center (MPC), Monterey County Youth Camp, Essalen Indian Nation, and Akicita Luta Intertribal Society. Representatives from Monterey County, California State University Monterey Bay (CSUMB), and numerous state and local agencies also participated. A summary presentation of

this workshop was made to the Planning Commission and Board of Supervisors.

**Fall 2002 Town Paper**

The editor of *The Town Paper* created a 12-page project overview that featured the proposed East Garrison community. The Town Paper is a publication dedicated to educating the public about planning traditional neighborhoods. The East Garrison edition featured articles on the vision, affordable housing, the public process, the concept plan, stakeholder missions, the pattern book tradition, and the proposed land swap. Copies were distributed in the Sunday edition of the *Monterey County Herald* and *Coast Weekly* on the one-year anniversary of the first stakeholder workshop.



FIGURE 1.12 Cover of the *Town Paper*

**January 2003**

A presentation of the updated Concept Plan was made to the Board of Supervisors.

**April 2003 Stakeholder Workshop 2**

A second week-long stakeholder workshop was held at the Battle Simulation Building. The goal of this workshop was to transform the Concept Plan into a Master Plan. Stakeholders were divided into six groups, each with a particular area of focus. Working

topics included: Affordable Housing; Transportation; Youth Camp/Parks, Open Space, and Habitat; Neighborhoods and Town Center Plan; Pattern Book/Product Development; Arts Habitat/Historic Resources. A 20 by 30-foot model of the site was built to give participants a sense of the scale of the community. A presentation of consensus decisions was made to the approximately 200 participants at the end of the third day.

**FORT ORD REDEVELOPMENT TIMELINE**

- January 1990 – Secretary of Defense announces military installments will be reduced
- February 1990 – Congressmen Panetta appoints Fort Ord Community Task Force
- May 1991 – Base Realignment and Closure Commission (BRAC) recommends closing Fort Ord
- October 1992 – Fort Ord Reuse Group (FORG) is established
- April 1993 – California Senate Bill 899 establishes Fort Ord Reuse Authority (FORA)
- May 1994 – California Senate Bill 899 *Fort Ord Reuse Authority Act*, is signed by Governor Pete Wilson
- September 1994 – Fort Ord is deactivated
- June 1995 – Fort Ord Reuse Infrastructure Study is released
- June 1997 – Fort Ord Reuse Plan is adopted
- October 2001 – Monterey County Board of Supervisors grants exclusive rights to negotiate housing development
- November 2001 – Monterey County Board of Supervisors adopts General Plan Amendment
- November 2001 – East Garrison/Parker Flats Concept Plan Charrette establishes framework for land swap and vision for East Garrison
- March 2002 – Fort Ord Redevelopment Plan is adopted
- February 2003 – Option Agreement between East Garrison Partners I, LLC and the Monterey County Redevelopment Agency is approved
- April 2003 – Stakeholder Workshop is held in the Battle Simulation Building to transform the Concept Plan into a Master Plan
- May 2003 – Pattern Book Workshop is held to define East Garrison building and lot types

TABLE 1.2 Fort Ord Redevelopment Timeline



FIGURE 1.13 April 2003 Stakeholder Workshop 2

May 2003 Stakeholder Pattern Book Workshop

A three-day stakeholder workshop was held at the Monterey Hilton Garden Hotel. Participants included representatives from Arts Habitat, Art Space, Monterey County, and other interested stakeholders. The workshop goal was to set the image and character for East Garrison. The Pattern Book, Appendix A of this Plan, is based on the results of this workshop.

June 2003 Public Radio Interview

Local public radio aired a four-part series on the plans for East Garrison based on stakeholder and consultant interviews.

September 2003 Documentary

Highlights of the planning process were documented by a film crew and edited into a documentary. This documentary is available to the public on CD and videocassette.

Summer 2004 Town Paper

The editor of *The Town Paper* created a second project overview that featured a summary of the East Garrison Specific Plan and Pattern Book. This edition featured articles on the value of the Pattern Book, community services included in the project, ArtSpace, maintaining the value of historic buildings, affordable



FIGURE 1.14 East Garrison Vision Center

housing options at East Garrison, and smart growth. Copies were distributed in the Sunday edition of the *Monterey County Herald* and *Coast Weekly*.



FIGURE 1.15 Cover of the *Town Paper*