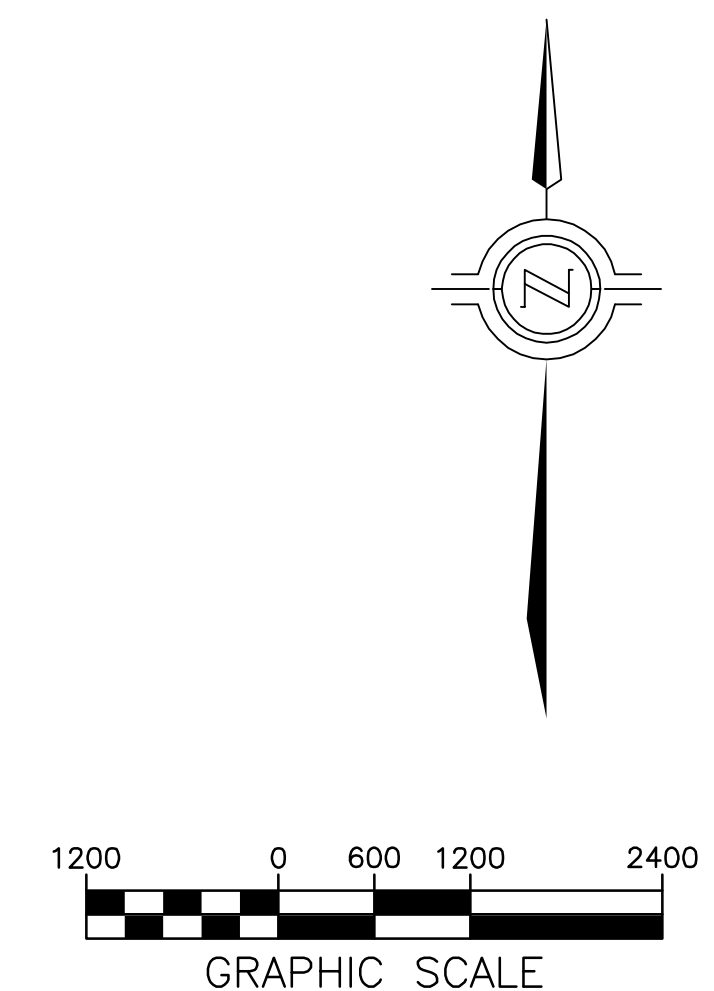
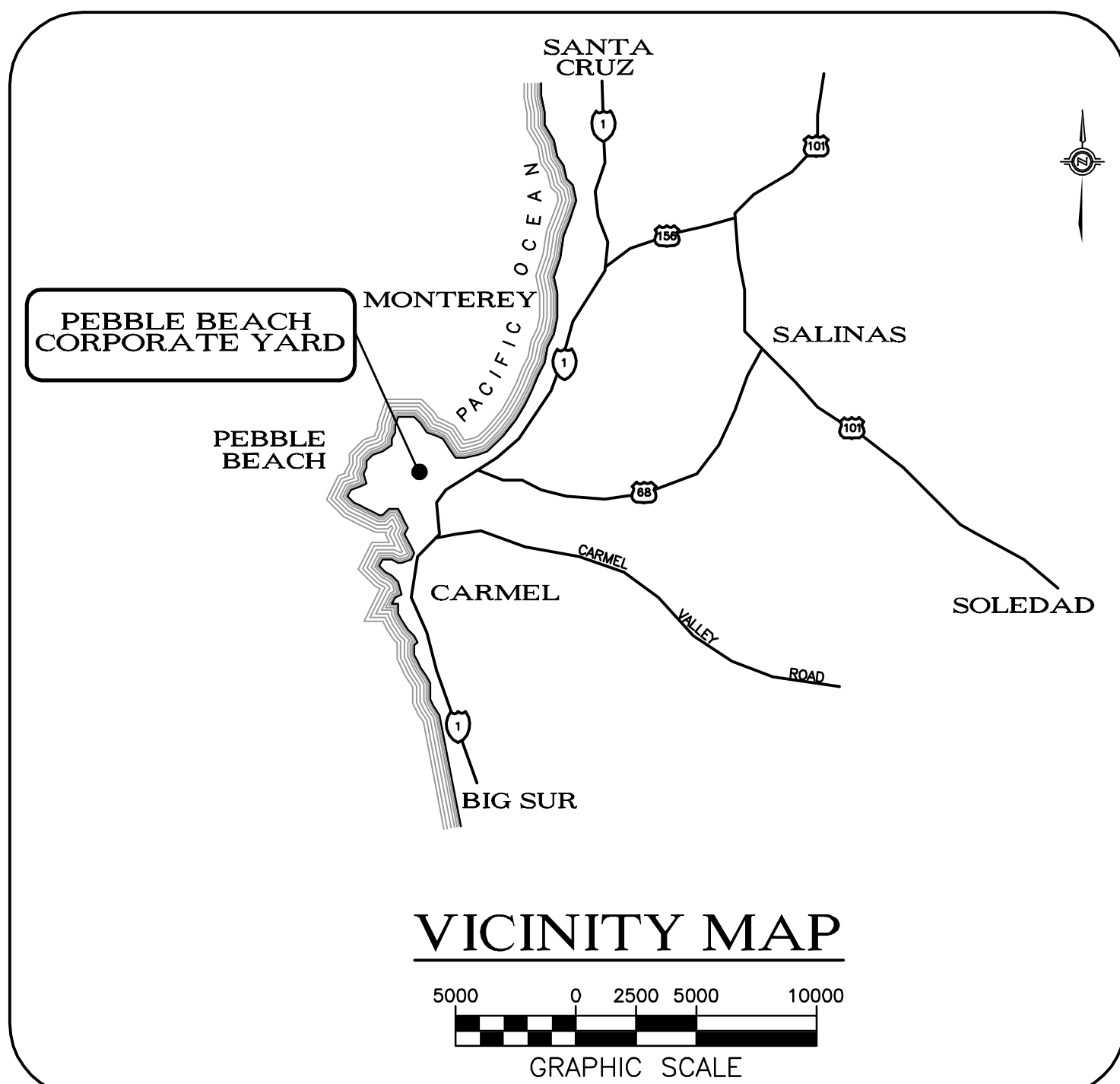




PEBBLE BEACH
CORPORATE YARD
AND SUBDIVISION



PROJECT SITE MAP

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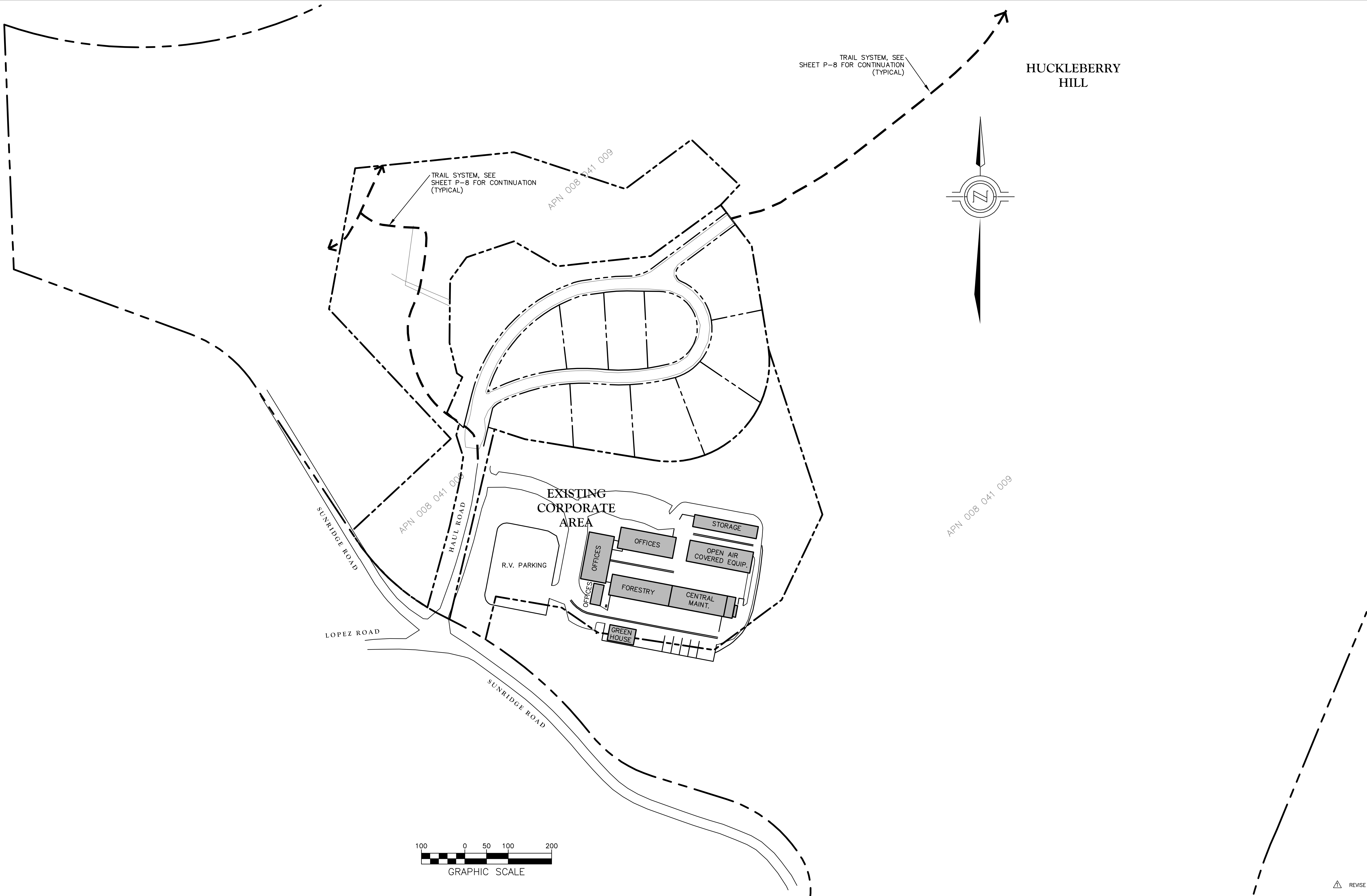
PEBBLE BEACH COMPANY
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PARCEL INFORMATION: A.P. # 008-041-009, PARCEL 6, VOLUME 15, CITIES AND TOWNS, PAGE 52
EL PESCADERO RANCHO, MONTEREY COUNTY, CALIFORNIA

CORPORATE YARD
DEL MONTE FOREST PLAN
COVER SHEET

CY-1

DATE: MAY 2011



△ REVISE TITLE

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 PARCEL INFORMATION: A.P. # 008-041-009, PARCEL 6, VOLUME 15, CITIES AND TOWNS, PAGE 52
 EL PESCADERO RANCHO, MONTEREY COUNTY, CALIFORNIA

CORPORATE YARD
 DEL MONTE FOREST PLAN
 AMENDMENT TO MONTEREY COUNTY
 GENERAL DEVELOPMENT PLAN PC92-173

CY-2
 DATE: MAY 2011



EARTHWORK

CUT = 58,000 CY
 FILL = 75,000 CY
 NET = 17,000 CY FILL*

* EARTHWORK QUANTITIES AS CALCULATED BY THE ENGINEER ARE TO FINISHED GRADE. THESE ARE ESTIMATES ONLY. NO ALLOWANCE WAS MADE FOR SWELL OR SHRINKAGE.

TREE REMOVAL

PINE TREES*
 4"-11" DIAMETER = 2
 12"-23" DIAMETER = 2
 24" & GREATER DIAMETER = 4

OAK TREES*
 4"-11" DIAMETER = 1
 12" & GREATER = 0

* TREE REMOVAL BASED UPON FIELD SURVEY.

IMPERVIOUS AREA

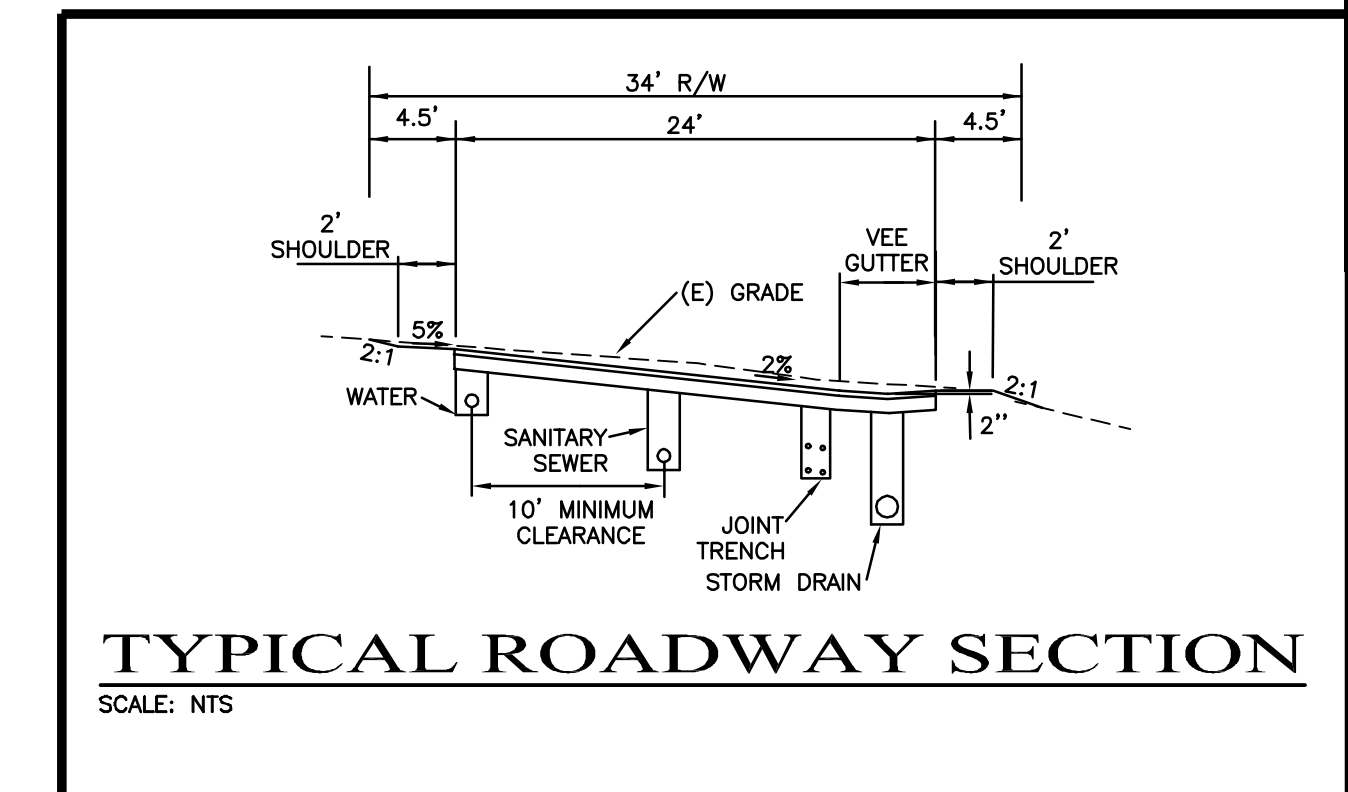
NEW ROADWAY = 41,200 SQFT
 NEW STRUCTURES = 0 SQFT

AREA OF DEVELOPMENT WITHIN SLOPES 30% AND OVER

24,290 SQFT (OLD QUARRY STOCKPILE AREA)

TRAILS

REMOVED 0 LF
 NEW 3,890 LF ON EXISTING DIRT ROAD/
 FIRE ROAD
 NET 3,890 LF INCREASE



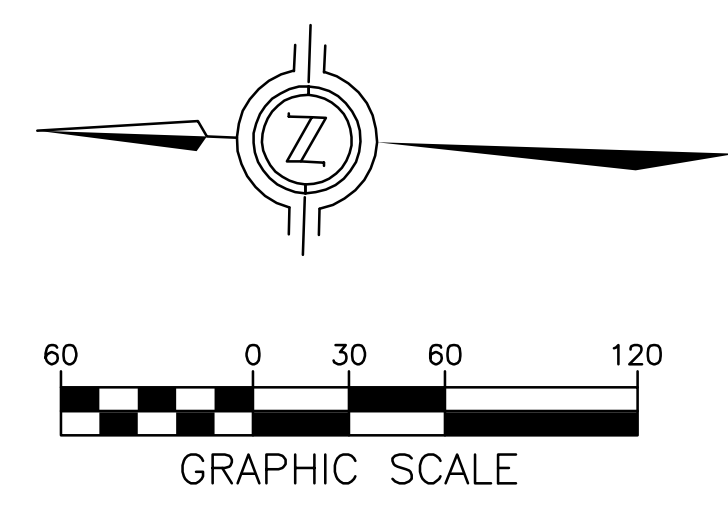
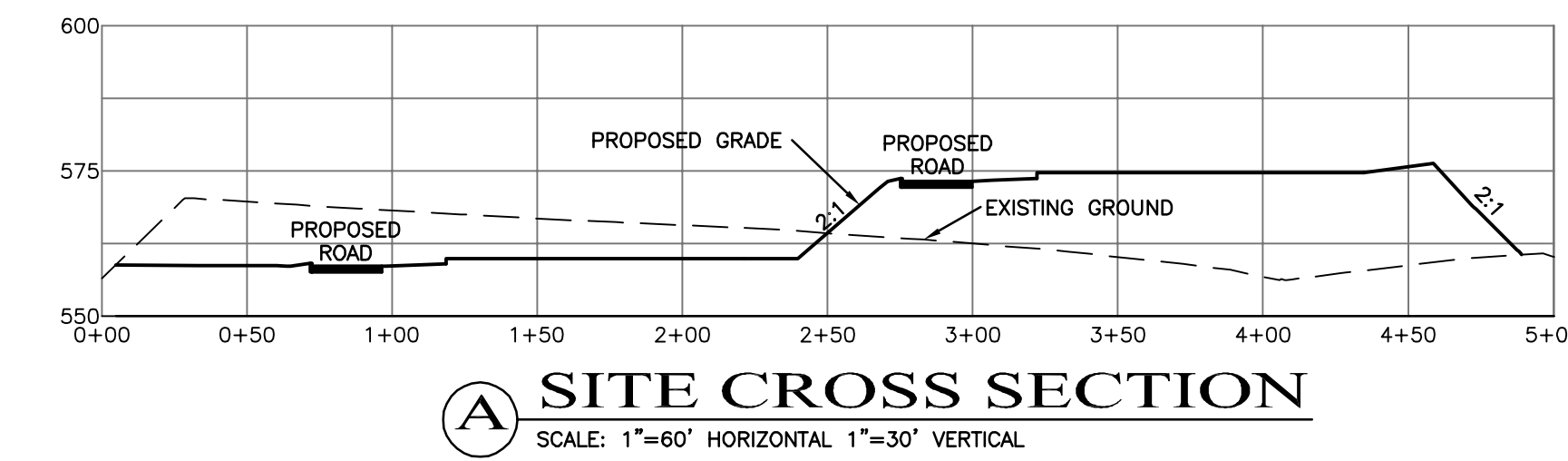
TYPICAL ROADWAY SECTION
 SCALE: NTS

LEGEND

---SS---	EXISTING SANITARY SEWER	-----	EXISTING PROPERTY LINE
---SS---	NEW SANITARY SEWER	-----	NEW PROPERTY LINE
---SD---	EXISTING STORM DRAIN	-----	PROPERTY LINE ABANDONED
---SD---	NEW STORM DRAIN	-----	NEW BUILDING ENVELOPE
---	EXISTING WATER LINE	-----	NEW EDGE OF PAVEMENT
---	NEW WATER LINE	-----	EXISTING EASEMENT
---	EXISTING OVERHEAD UTILITY	-----	NEW EASEMENT
⊕ FH	FIRE HYDRANT	-----	CONTOUR MAJOR (5-FOOT)
⊕ WV	WATER VALVE	-----	CONTOUR MINOR (1-FOOT)
⊕ CB/JB	CATCH BASIN OR JUNCTION BOX	-----	EXISTING TRAIL
⊕ CO	CLEANOUT	-----	NEW TRAIL CONNECTION
⊕ SSMH	SANITARY SEWER MANHOLE	-----	EXISTING TRAIL RELOCATED
⊕ SDMH	STORM DRAIN MANHOLE	-----	LIMITS OF GRADING
→	EXISTING DRAINAGE FLOW ARROW	-----	FEMA 1% ANNUAL FLOOD LINE
→	NEW DRAINAGE FLOW ARROW	-----	
A.P. #	ASSESSOR'S PARCEL NUMBER	▨	WETLAND AREA, SEE SHEET 1, NOTE 14
AC	ASPHALTIC CONCRETE	▨	30% SLOPE AND GREATER
B.E.	BUILDING ENVELOPE		
D	DRAINAGE CONNECTION		
(E)	EXISTING		
LOT X	RESIDENTIAL LOT/UNIT NUMBER		
PUE	PUBLIC UTILITY EASEMENT		
R/W	RIGHT OF WAY		
S	SEWER CONNECTION		
TYP	TYPICAL		
WS	WATER SERVICE		

△ ADDED NOTES

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GRAPHIC SCALE

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 EL PESCADERO RANCHO, MONTEREY COUNTY, CALIFORNIA

CORPORATE YARD
 DEL MONTE FOREST PLAN
GRADING AND DRAINAGE PLAN

CY-3
 DATE: MAY 2011

WHEN CREATING DEFENSIBLE SPACE, KEEP THESE SAFETY TIPS IN MIND:

- All equipment with an internal combustion engine must be equipped with an approved and operable spark arrester.
- Metal blades striking rocks can create sparks and start fires. Use caution.
- To protect water quality and habitat do not remove vegetation associated with water, avoid using heavy equipment near waterways and do not clear vegetation near waterways to the bare mineral soil. Keep soil disturbance to a minimum.

OTHER HINTS TO SECURE A LEAN, CLEAN AND GREEN ZONE:

- Select less flammable plants for your Lean, Clean and Green Zone:
 - Shorter plants (less than 2 feet) are safer than taller ones.
 - If kept green, herbaceous plants (grass and non-woody flowers) are better choices than shrubs and trees.
 - If planting shrubs and trees, choose deciduous trees that shed their leaves ones over evergreens. Avoid planting juniper, pine and palms.
- Remove tree limbs that are touching the house or deck, or are within 10 feet of the chimney. If limbs are encroaching on overhead lines, contact your telephone or power company for removal.
- Use hard surfaces (concrete, stone, asphalt, brick, etc.) in your landscaping.
- Clear ALL flammable vegetation from within 10 feet of propane tanks.

YOUR RESPONSIBILITY:

California law (PRC 4291) requires property owners and/or occupants to create 100 feet of DEFENSIBLE SPACE around homes and buildings.

YOUR GOAL — TO CREATE A:

Lean, Clean and Green Zone
An area of 30 feet immediately surrounding your home.

Reduced Fuel Zone

The fuel reduction zone in the remaining 70 feet (or to the property line).

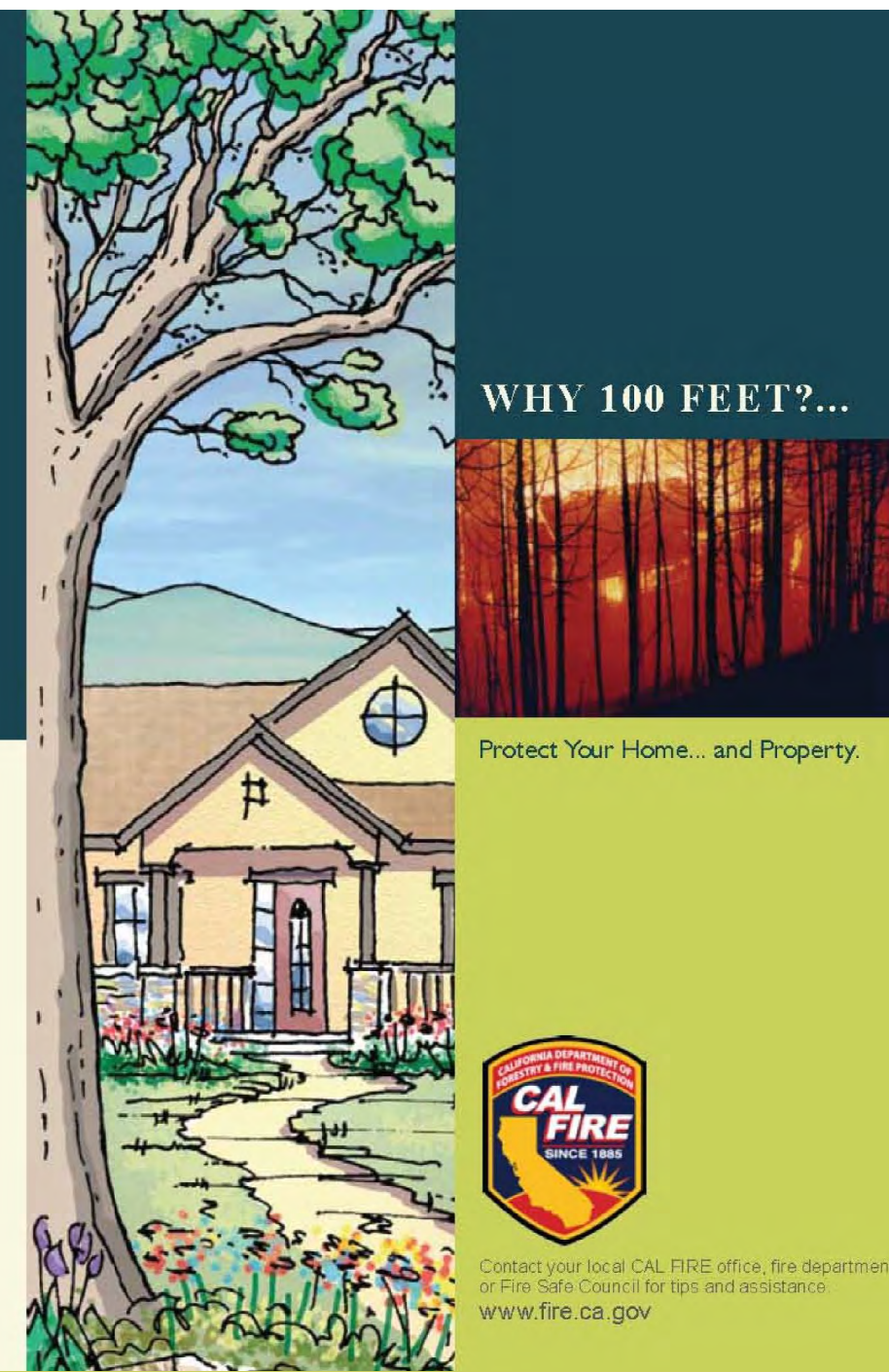


*Compliance with PRC 4291 is required by any person who owns, leases, controls, operates or maintains a building or structure in or adjoining any mountainous area, forest-covered lands, or fire-covered lands, grass-covered lands or any structure covered with flammable material and is within the Code Responsibility Area. PRC 4291 requires 100 feet of Defensible Space (or to the property line if less than 100 feet) from every building or structure that is used for support or shelter of any use or occupancy. Owner, lessee or operator must also comply with all existing environmental protection laws and must obtain all necessary permits. Contact your local resource or planning agency officials to ensure compliance with federal, state and local requirements.

WHY 100 FEET?...



...Because Defensible Space is YOUR responsibility



WHY 100 FEET?...

Protect Your Home... and Property.



Contact your local CAL FIRE office, fire department, or Fire Safe Council for tips and assistance. www.fire.ca.gov

TWO ZONES MAKE UP THE REQUIRED 100 FEET OF DEFENSIBLE SPACE:

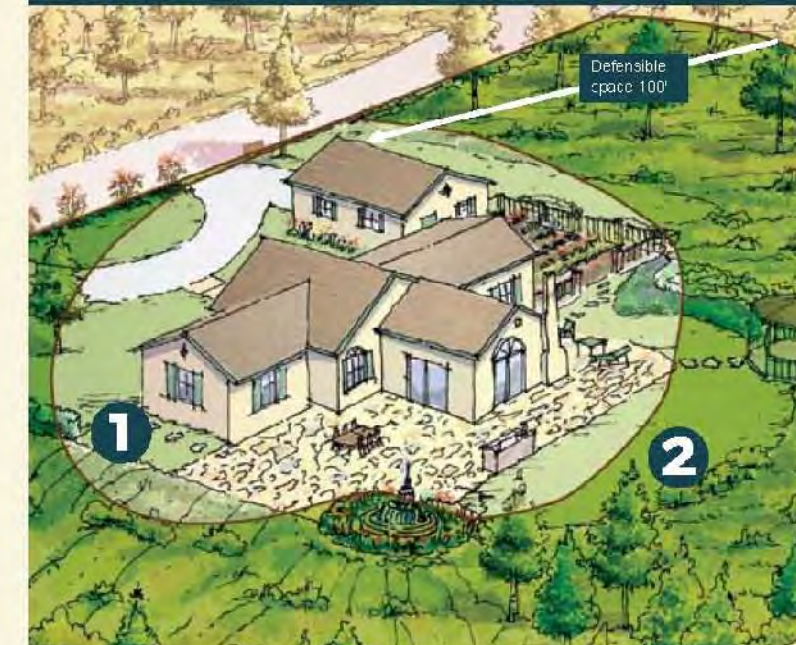
1. Lean, Clean and Green Zone

An area of 30 feet immediately surrounding your home.

2. Reduced Fuel Zone

The fuel reduction zone in the remaining 70 feet (or to the property line).

Defensible Space Helps Save Lives and Property



COMPLY WITH THE LAW AND HELP SAVE YOUR HOME BY CREATING DEFENSIBLE SPACE.

Follow these guidelines:

1. Create a Lean, Clean and Green Zone

Remove all flammable vegetation and any dead or dying plants within 30 feet of each building or structure.

You may keep single trees or other vegetation that are trimmed of all dead and dying foliage and are well pruned and maintained.

2. Decrease Fuel in the Reduced Fuel Zone

Surface litter consists of fallen leaves, needles, twigs, bark, cones, pods, small branches, etc. Remove loose surface litter so it does not exceed a depth of three inches.

Make it Safe: Logs, Stumps and Snags

All logs and stumps should be removed unless they are embedded in the soil. If you keep an embedded log, remove nearby vegetation.

A standing dead tree (snag) may be kept for wildlife providing there is only one snag per acre, and if the snag were to fall, it would not reach buildings or structures and would not land on roadways or driveways.

Provide Fuel Separation and Treatment

Guidelines for fuel treatment as published by CDF are designed to reduce the spread of wildfires.

Choose option 2a or 2b. The best option for your property will be based on its characteristics: slope, vegetation size, vegetation type—brush, grass, trees, etc.—and other fuel characteristics. Properties with greater fire hazards will require larger separation between fuels. For example, a property on a steep slope with larger vegetation will require greater spacing between trees and shrubs than a level property that has small, sparse vegetation.

2a: Grasses

Ideally, grass should not exceed four inches in height. In situations where these fuels are isolated from other fuels or where necessary to stabilize soil, grasses and forbs may reach a height of 18 inches.

2a: Horizontal Clearance for Shrubs and Trees

Uncleared ground fuels provide an open freeway for the rapid spread and increased intensity of fire.

Clearance between shrubs should be 4 to 40 feet depending on the slope of the land and size and type of vegetation. Check the chart below for an estimation of clearance distance. Any questions regarding requirements for a specific property should be addressed to your local fire official.

Minimum Horizontal Clearance	
SHRUBS	TREES
From edge of one shrub to the edge of the next	From edge of one tree canopy to the edge of the next
<p>Flat to moderate slope (0% to 20% slope)</p> <p>Four times the height of the shrub (two shrubs 2' high should be spaced 8' apart)</p>	<p>Flat to moderate slope (0% to 20% slope)</p> <p>Five times the height of the tree (two trees 10' high should be spaced 50' apart)</p>
<p>Mild to moderate slope (20% to 40% slope)</p> <p>Four times the height of the shrub (two shrubs 2' high should be spaced 8' apart)</p>	<p>Mild to moderate slope (20% to 40% slope)</p> <p>Five times the height of the tree (two trees 10' high should be spaced 50' apart)</p>
<p>Moderate to steep slope (greater than 40% slope)</p> <p>Six times the height of the shrub (two shrubs 2' high should be spaced 12' apart)</p>	<p>Moderate to steep slope (greater than 40% slope)</p> <p>Five times the height of the tree (two trees 10' high should be spaced 50' apart)</p>

2a: Vertical Clearance for Shrubs and Trees

Low branches create "ladders" from the ground fuels to the trees.

To determine the proper vertical clearance between shrubs and the lowest branches of trees, use the formula below.

Minimum Vertical Clearance
3x HEIGHT OF SHRUB = MINIMUM VERTICAL CLEARANCE

Example: A five foot shrub is growing near a tree.
5 x 3 = 15 feet of clearance needed between the top of the shrub and the lowest tree branches.



Note: A grouping of vegetation may be treated as a single plant if the foliage of the grouping does not exceed 10 feet in width. For example, three individual mountain plants growing in a clump with a total foliage width of 8 feet can be grouped and considered as one plant.

2b: Defensible Space with Continuous Tree Canopy

To achieve Defensible Space while keeping a larger stand of trees with a continuous tree canopy, adhere to the guidelines below:

- Prune lower branches of trees to a height of six to 15 feet from the top of the vegetation below or the lower 1/3 of branches for small trees. Properties with greater fire potential such as steeper slopes or more severe fire danger will require pruning heights in the upper end of this range.
- Remove all ground fuels greater than four inches in height. Single specimens of trees or other vegetation may be kept if they are well-spaced, well-pruned and create an overall condition that avoids the spread of fire to other vegetation or to structures.

OUTSIDE

1 Design/Construction

(For new Wildland Urban Interface Construction or Remodels)

- Use ignition resistant construction (effective January 1, 2008) for roofs/roof assemblies, gutters, vents, decks, exterior walls, exterior windows.
- Enclose the underside of eaves, balconies and above ground decks with fire resistant materials
- Show your 100 feet Defensible Space on plot plan
- Build your home away from ridge tops, canyons and areas between high points of a ridge
- Consider installing residential sprinklers
- Make sure that electric service lines, fuse boxes and circuit breaker panels are installed and maintained per code
- Contact qualified individuals to perform electrical maintenance and repairs

2 Access

- Make sure that your street name sign is visibly posted at each street intersection
- Post your house address so it is easily visible from the street, especially at night
- Address numbers should be at least 3 inches tall and on a contrasting background
- Identify at least two exit routes from your neighborhood
- Clear flammable vegetation at least 10 feet from roads and five feet from driveways
- Cut back overhanging tree branches above access roads
- Construct roads that allow two way traffic
- Make sure dead-end roads, and long drive ways have turn-around areas wide enough for emergency vehicles
- Design bridges to carry heavy emergency vehicles
- Post clear road signs to show traffic restrictions such as dead-end roads, and weight and height limitations

3 Roof

- Install a fire resistant roof. Contact your local fire department for current roofing requirements
- Remove dead leaves and needles from your roof and gutters
- Remove dead branches overhanging your roof and keep branches 10 feet from your chimney
- Cover your chimney outlet and stowpiche with a nonflammable screen of 1/2 inch or smaller mesh

4 Landscape

- Create a Defensible Space of 100 feet around your home. It is required by law
 - Create a "LEAN, CLEAN and GREEN ZONE" by removing all flammable vegetation within 30 feet immediately surrounding your home
 - Then create a "REDUCED FUEL ZONE" in the remaining 70 feet or to your property line
- You have two options in this area:
- Create horizontal and vertical spacing between plants. The amount of space will depend on how steep your property is and the size of your plants.
 - Large trees do not have to be removed as long as all of the plants beneath them are removed.
- Remove lower tree branches at least six feet from the ground
 - Landscape with fire resistant plants
 - Maintain all plants with regular water, and keep dead branches, leaves and needles removed.
 - When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is much safer

5 Yard

- Stack woodpiles at least 30 feet from all structures and remove vegetation within 10 feet of woodpiles
- Above ground Liquefied Petroleum Gas (LPG) containers (500 or less water gallons) shall be located a minimum of 10 feet with respect to buildings, public ways, and lot lines of adjoining property that can be built upon. -CFC 3804.3
- Remove all stacks of construction materials, pine needles, leaves and other debris from your yard
- Contact your local fire department to see if debris burning is allowed in your area, if so, obtain a burning permit and follow all local air quality restrictions

6 Emergency Water Supply

- Maintain an emergency water supply that meets fire department standards through one of the following:
 - a community waterhydrant system
 - a cooperative emergency storage tank with neighbors
 - a minimum storage supply of 2,500 gallons on your property (like a pond or pool)
- Clearly mark all emergency water sources
- Create easy firefighter access to your closest emergency water source
- If your water comes from a well, consider an emergency generator to operate the pump during a power failure

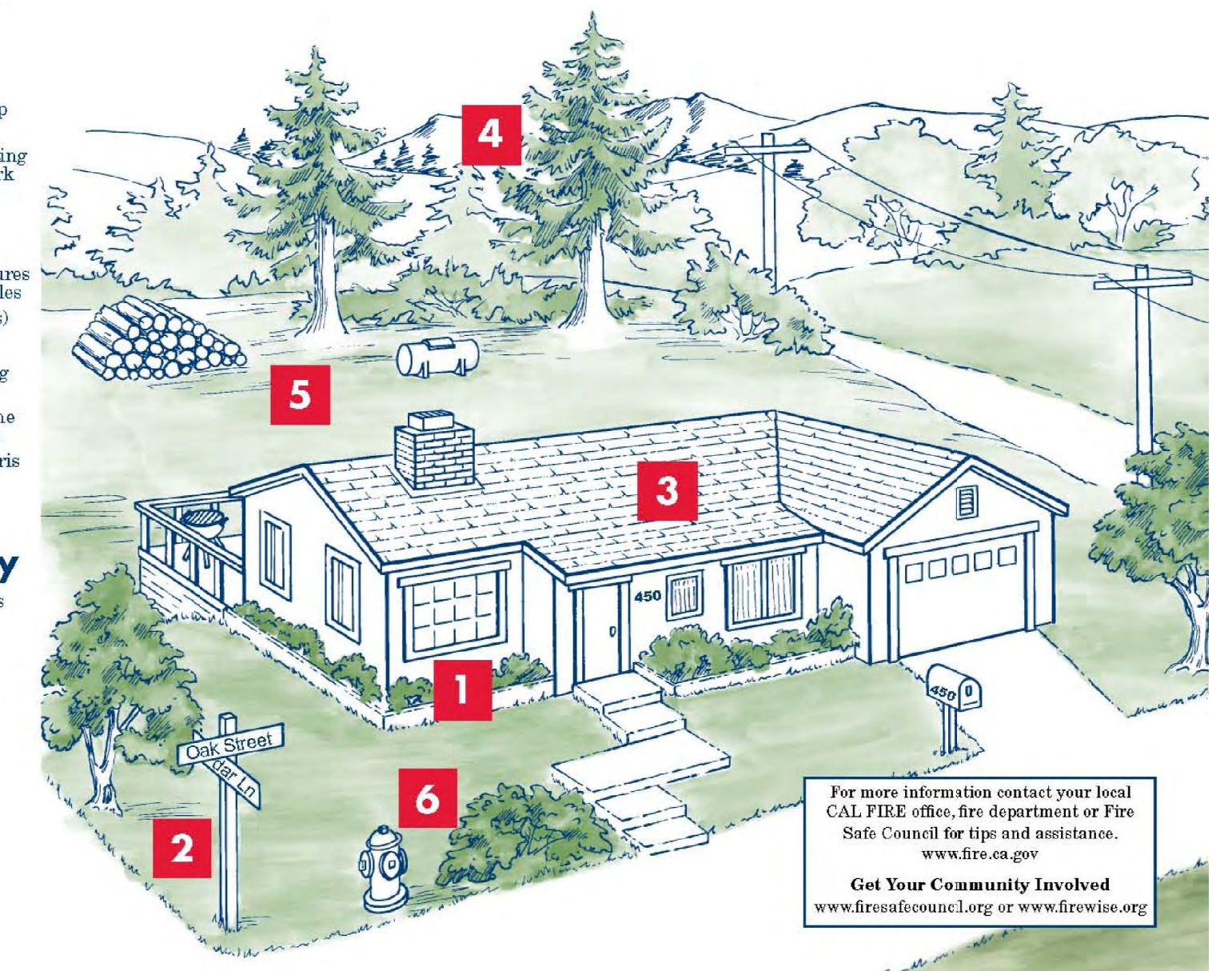
California Department of Forestry and Fire Protection

Homeowners Checklist



www.fire.ca.gov

How To Make Your Home Fire Safe



For more information contact your local CAL FIRE office, fire department or Fire Safe Council for tips and assistance. www.fire.ca.gov
Get Your Community Involved
www.firecouncil.org or www.firewise.org

100' DEFENSIBLE SPACE Make Your Home FIRE SAFE

Why 100 Feet?

Following these simple steps can dramatically increase the chance of your home surviving a wildfire! A Defensible Space of 100 feet around your home is required by law! The goal is to protect your home while providing a safe area for firefighters.

1 "Lean, Clean and Green Zone"

—Clearing an area of 30 feet immediately surrounding your home is critical. This area requires the greatest reduction in flammable vegetation.

2 "Reduced Fuel Zone"

—The fuel reduction zone in the remaining 70 feet (or to property line) will depend on the steepness of your property and the vegetation.

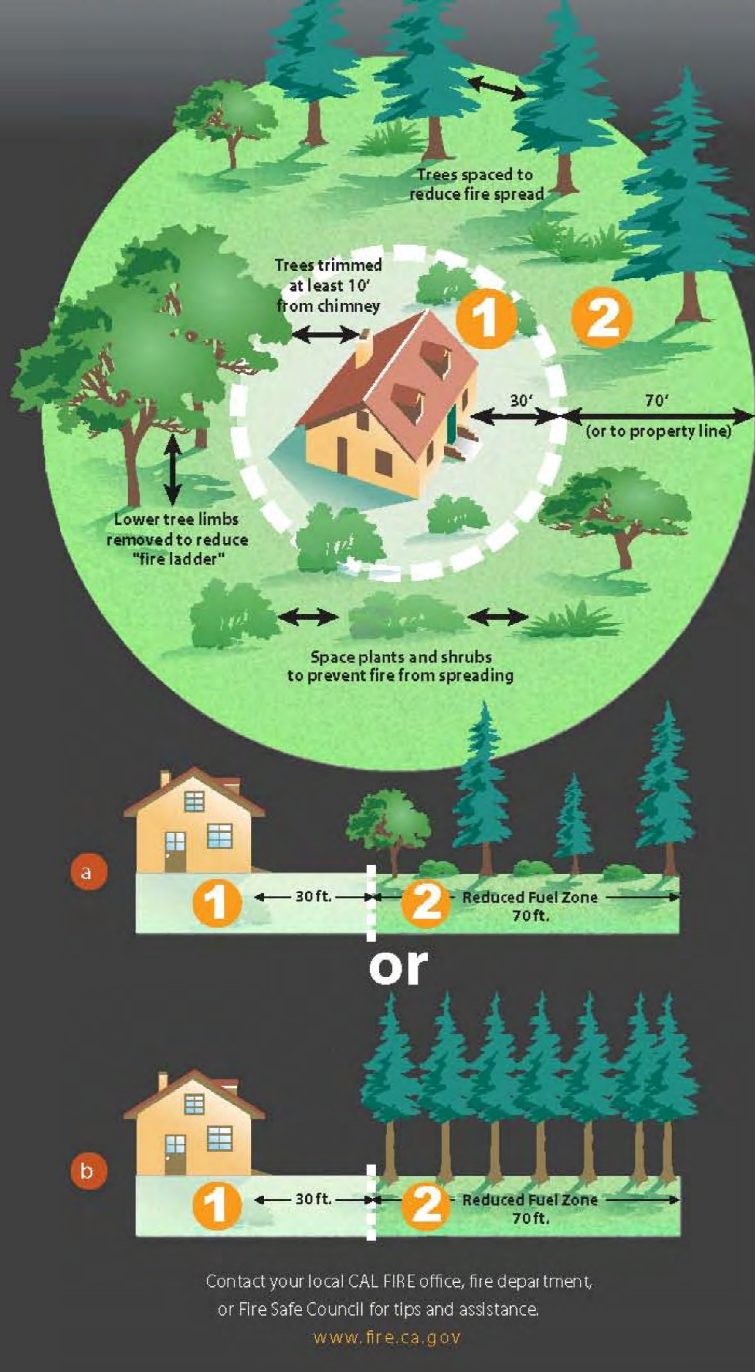
Spacing between plants improves the chance of stopping a wildfire before it destroys your home. You have two options in this area:

- Create horizontal and vertical spacing between plants. The amount of space will depend on how steep the slope is and the size of the plants.
- Large trees do not have to be cut and removed as long as all of the plants beneath them are removed. This eliminates a vertical "fire ladder."

When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is much safer.

Remove all build-up of needles and leaves from your roof and gutters. Keep tree limbs trimmed at least 10 feet from any chimneys and remove deadlimbs that hang over your home or garage. The law also requires a screen over your chimney outlet of not more than 1/2 inch mesh.

1) These regulations affect most of the grass, brush, and timber-covered private lands in the State. Some fire departments may have additional requirements. Some activities may require permits for tree removal. Also, some activities may require special procedures for 1) threatened and endangered species, 2) nesting areas, and 3) protection of water quality. Check with local officials if in doubt. Current regulations allow an increase in spacing to require additional clearance. The areas to be treated do not extend beyond your property. The State Board of Forestry and Fire Protection has approved Guidelines to assist you in complying with the new law. Contact your local CAL FIRE office for more details.



Contact your local CAL FIRE office, fire department, or Fire Safe Council for tips and assistance. www.fire.ca.gov



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PARCEL INFORMATION: EL PESCADERO RANCHO, MONTEREY COUNTY, CALIFORNIA

CORPORATE YARD
DEL MONTE FOREST PLAN
FUEL MANAGEMENT PLAN

CY-4
DATE: MAY 2011

GRADING AND EROSION CONTROL SPECIFICATIONS

GENERAL NOTES

- 1.) ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- 2.) CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD ALL DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- 3.) A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE CONTRACTOR IS HEREBY NOTIFIED THAT ONLY EXCAVATION WILL EXPOSE THE TYPE(S), EXTENT, SIZE(S), LOCATION(S) AND DEPTH(S) OF SAID UTILITIES. THE OWNER, DEVELOPER AND THEIR CONSULTANTS ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SHOWN, NOR THE ACCURACY OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL ALSO, 48 HOURS PRIOR TO CONSTRUCTION NOTIFY USA (UNDERGROUND SERVICE ALERT) AT THE FOLLOWING TOLL FREE NUMBER 1-800-642-2444.
- 4.) UNAUTHORIZED CHANGES AND USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE NOR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- 5.) ALL WORK SHALL BE IN CONFORMANCE WITH:
 - A) THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS OF THE LATEST REVISION. (STATE STDS)
 - B) THE MONTEREY COUNTY GRADING ORDINANCE 2535 AND THE MONTEREY COUNTY EROSION CONTROL ORDINANCE 2806
 - C) UNIFORM BUILDING CODE OF LATEST REVISION.
 - D) COUNTY OF MONTEREY "STANDARD PROPERTY DEVELOPMENT SPECIFICATIONS" REVISED 1/81, STANDARD DETAILS AND ROADWAY DESIGN STANDARDS" BOTH DATED 10/77.
 - E) EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF MONTEREY COUNTY EROSION CONTROL REGULATIONS (CHAPTER 16.12).
- 6.) CONTRACTOR SHALL NOTIFY THE ENGINEER, SOILS ENGINEER AND MONTEREY COUNTY PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
- 7.) THE CONTRACTOR SHALL PROVIDE AN EMERGENCY PHONE NUMBER TO THE PEBBLE BEACH SECURITY AND FIRE DEPARTMENTS, AND INFORM THESE AGENCIES DAILY REGARDING EXCAVATION, BARRICADES, ETC. WITHIN THE RIGHT(S) OF WAY.
- 8.) IF CONDITIONS NOT COVERED BY THESE PLANS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR THE OWNERS REPRESENTATIVE (PEBBLE BEACH COMPANY - CONSTRUCTION MANAGEMENT).
- 9.) CHANGES MUST BE APPROVED IN WRITING BY THE CIVIL ENGINEER. THE COUNTY OF MONTEREY PUBLIC WORKS DEPARTMENT MUST ULTIMATELY APPROVE ALL CHANGES SUBSEQUENT TO APPROVAL BY THE CIVIL ENGINEER.
- 10.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DUST CONTROL THROUGHOUT THE THE GRADING OPERATION AND CONFORM TO THE STANDARDS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT FOR AIRBORNE PARTICULANTS (DUST). DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO REDUCE FUGITIVE DUST EMISSIONS AT THE SITE INCLUDING THE FOLLOWING:
 - A) PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH SURFACES AT LEAST TWICE DAILY, THE USE OF SUB-POTABLE WATER IS PREFERRED.
 - B) COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT MAY BE BLOWN BY THE WIND.
 - C) SWEEP CONSTRUCTION AREAS AND ADJACENT STREETS OF ALL MUD AND DUST DAILY OR AS NEEDED.
 - D) LANDSCAPE OR COVER COMPLETED PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE IN THAT AREA.
- 11.) IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
- 12.) WHEN WINTER OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES SHALL BE TAKEN TO PREVENT ACCELERATED EROSION. ADDITIONAL MEASURES MAY BE REQUIRED BY THE BUILDING DEPARTMENT.
 - A) BETWEEN OCTOBER 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
 - B) ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY. EROSION-PROOF SURFACING MAY BE REQUIRED BY THE BUILDING INSPECTOR IN AREAS OF HIGH EROSION HAZARD.
 - C) RUNOFF FROM A SITE SHALL BE DETAINED OR FILTERED BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE. THESE DRAINAGE CONTROLS SHALL BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
 - D) EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
 - E) THE DIRECTOR OF BUILDING INSPECTION SHALL STOP ALL OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF THE DIRECTOR DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- 13.) CONTRACTOR TO RE-VEGETATE ALL CUT AND FILL SLOPES EXPOSED DURING AND AFTER CONSTRUCTION. (AS SPECIFIED BY THE PEBBLE BEACH COMPANY). IRRIGATION WILL BE REQUIRED TO ESTABLISH GRASSES DURING DRY WEATHER. SEEDED AREAS SHOULD BE INSPECTED FOR FAILURES AND RE-SEEDED AND FERTILIZED.

- 14.) CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS AS DETERMINED BY THE PEBBLE BEACH COMPANY - CONSTRUCTION MANAGEMENT. CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
- 15.) CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE (831) 443-3050. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA. FOR ALL TRENCH EXCAVATIONS FIVE (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- 16.) ALL CUT SLOPES SHALL NOT EXCEED 2:1; ALL FILL SLOPES SHALL NOT EXCEED 2:1; EXCEPT WHERE NOTED OR APPROVED BY THE SOILS ENGINEER.
- 17.) AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT IMPROVEMENT PLANS TO THE OWNER. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
- 18.) CONTRACTOR SHALL COMPLY WITH ALL MEASURES FOR PROTECTION OF TREES AND OTHER SENSITIVE RESOURCES AS WELL AS ALL BEST MANAGEMENT PRACTICES.

CONSTRUCTION STAKING/PRECONSTRUCTION MEETING

- 1.) A MINIMUM OF 10 WORKING DAYS BEFORE CONSTRUCTION IS TO BEGIN, THE CONTRACTOR SHALL COORDINATE AN ON SITE MEETING WITH THE OWNERS REPRESENTATIVE AND ENGINEER AND SURVEYOR (WWD CORP.), THE FOLLOWING SHALL BE INCLUDED IF THEIR FACILITIES ARE INCLUDED: SOILS/GEOTECHNICAL ENGINEER, PG&E REPRESENTATIVES, MAJOR SUBCONTRACTOR REPRESENTATIVES, CALIFORNIA AMERICAN WATER COMPANY INSPECTOR AND PEBBLE BEACH COMMUNITY SERVICE DISTRICT.
- 2.) CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE.
- 3.) RESPONSIBILITY OF THE VARIOUS ENTITIES WILL BE DEFINED AT THE MEETING. CONTRACTOR WILL SUBSEQUENTLY PROVIDE A LIST TO ALL PARTICIPANTS OF ALL THE REPRESENTATIVES INVOLVED WITH THEIR NAMES AND PHONE NUMBERS, ALONG WITH A COPY OF THE CONSTRUCTION SCHEDULE.
- 4.) OWNER WILL RETAIN WWD CORPORATION TO PROVIDE CONSTRUCTION STAKING FOR THE PROJECT. CONTRACTOR TO PROVIDE WWD CORPORATION WITH WEEKLY STAKING REQUEST, SAID REQUEST SHALL BE PROVIDED ON FRIDAY FOR THE FOLLOWING WEEKS WORK AND SHALL ADEQUATELY DEFINE THE REQUIRED STAKING INTERVAL/OFFSET/ETC.
- 5.) CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF STAKING SET IN FIELD. IF, FOR ANY REASON, STAKES ARE DISTURBED OR LOST, CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF REPLACING SAME. WWD CORPORATION WILL HAVE THE RIGHT TO REMOVE ALL STAKING AT THE END OF EACH WORKING DAY SHOULD THEY EXPECT THAT THE STAKING IS NOT BEING ADEQUATELY PROTECTED FROM DISTURBANCE. SUBSEQUENT REPLACEMENT OF THE REMOVED STAKES WILL BE PAID FOR BY THE CONTRACTOR.

COORDINATION WITH OTHER CONTRACTORS

- 1.) IT IS FORESEEABLE THAT OTHER CONTRACTORS WILL BE PERFORMING WORK ON THE PROJECT CONCURRENTLY WITH THE WORK BEING DONE UNDER THIS CONTRACT. CONTRACTOR(S) SHALL COOPERATE WITH ONE ANOTHER TO FACILITATE THE MOST EXPEDIENT COMPLETION OF THE PROJECT AND AS TO NOT INTERFERE WITH WORK BEING PERFORMED.

SOILS AND GEOTECHNICAL/PAVING AND GRADING

- 1.) THE WORK HEREON WILL BE REVIEWED BY THE ENGINEER AND INSPECTED/TESTED BY THE GEOTECHNICAL ENGINEER.
- 2.) APPROVAL OF THE GEOTECHNICAL ENGINEER OR THEIR AUTHORIZED REPRESENTATIVE, AND PEBBLE BEACH COMPANY, IS REQUIRED ON COMPLETED WORK PRIOR TO BACKFILLING TRENCHES. BACK FILLING DONE WITHOUT SUCH APPROVAL SHALL NOT BE ACCEPTABLE.
- 3.) ONSITE GRADING AND EARTHWORK SHALL BE TESTED BY THE GEOTECHNICAL ENGINEER DESIGNATED BY THE OWNER, TO VERIFY COMPLIANCE WITH THE RECOMMENDATIONS OF THE SOILS REPORT, THE PLANS AND THE SPECIFICATIONS. ALL GRADING AND EARTHWORK SHALL BE DONE TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- 4.) ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. THE SUB GRADE SHALL BE COMPACTED TO THE DEPTH REQUESTED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED TO THE MINIMUM COMPACTION RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- 5.) THE GEOTECHNICAL ENGINEER SHALL PROVIDE FINAL CERTIFICATION THAT ALL GRADING WAS DONE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THE CONTRACTOR WILL SUBMIT GEOTECHNICAL ENGINEERS REPORTS PRIOR TO FINAL APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.

SUBMITTALS

- 1.) PRIOR TO INSTALLATION OF ANY SEWER, WATER, RECLAIMED WATER, STORM DRAIN, PAVING MATERIALS OR OTHER MATERIALS REQUIRED BY THIS PROJECT; THE CONTRACTOR SHALL SUBMIT TO THE PEBBLE BEACH COMPANY 7 COPIES OF MATERIAL SPECIFICATIONS USED OR EQUIPMENT TO BE INSTALLED. CONTRACTOR SHALL RECEIVE WRITTEN CONFIRMATION FROM THE PEBBLE BEACH COMPANY APPROVING SAID MATERIAL OR EQUIPMENT PRIOR TO INSTALLATION OF SAME.
- 2.) ALL MATERIALS AND EQUIPMENT SHALL BE NEW. ALTERNATES WILL NOT BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL FROM THE PEBBLE BEACH COMPANY.

INSPECTIONS AND TESTING

- 1.) PAVING AND GRADING - SEE (SOILS AND GEOTECHNICAL/PAVING AND GRADING) ABOVE.

STORM DRAINAGE

- 1.) PIPE SHALL BE ADS HIGH DENSITY POLYETHYLENE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. CATCH BASINS AND OTHER DRAINAGE FACILITIES SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS OR AS DETAILED ON THE PLANS OR AS APPROVED BY THE ENGINEER IN THE FIELD.

AS BUILT PLANS

- 1.) CONTRACTOR SHALL MAINTAIN A SET OF PLANS ONSITE REFLECTING, IN RED PENCIL, ALL CHANGES MADE DURING THE COURSE OF CONSTRUCTION. THESE PLANS SHALL BE SIGNED BY THE CONTRACTOR AND TURNED OVER TO THE OWNER WHEN CONSTRUCTION IS COMPLETED AND THE JOB IS EXCEPTED AS COMPLETE BY THE OWNER. THESE PLANS MUST REFLECT THE CHANGES AND, IF NOT, THE 10% RETENTION PERIOD CAN BE EXTENDED BY THE OWNER UNTIL SUCH TIME AS THE PLANS ARE COMPLETED. (SEE GENERAL NOTE 17).

PERMITS

- 1.) CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO CONSTRUCT IMPROVEMENTS SHOWN ON THESE PLANS. OWNER WILL REIMBURSE CONTRACTOR FOR SAID PERMITS.

