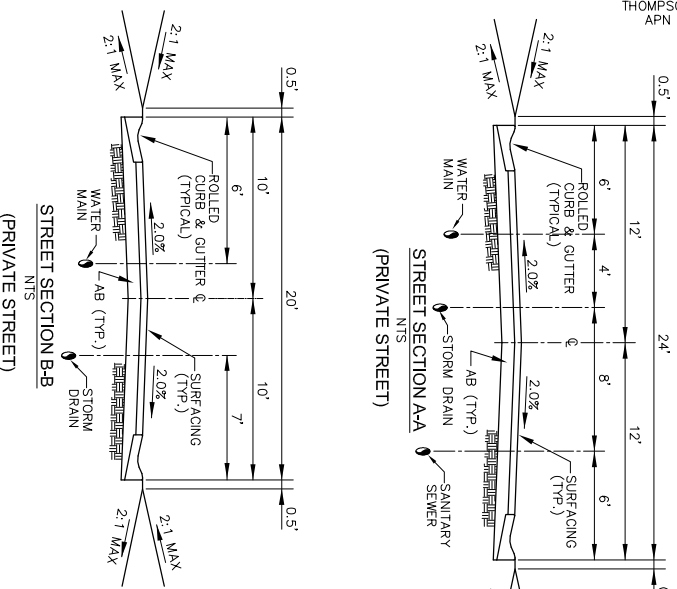


VICTORIA A. EVANS
 APN 418-36-013
 MARGARET KATHLENE BERTI
 APN 418-38-029

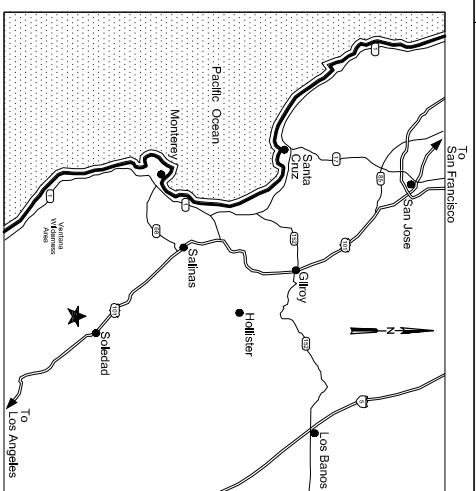
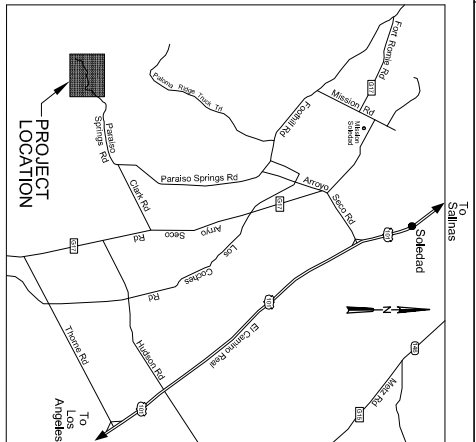


PROJECT AREAS	
LOT NO.	ACRES
1 HOTEL, HAMELET, SPA AND FITNESS CENTER	214.44
2 Winery / Vineyard	6.69
3-19 TIME SHARE VILAS	4.38
20 CONDOMINIUMS	3.79
21 CONDOMINIUMS	1.97
22 CONDOMINIUMS	2.24
23 CONDOMINIUMS	2.42
TOTAL	235.93

PROJECT PHASING 1:					
LAND USE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
HOTEL, HAMELET, SPA, FITNESS & VINEYARD	60	15	15	13	1,2
TIME SHARE CONDOMINIUMS	18	14	14	20-23	
TIME SHARE VILAS	5	4	4	4	3-19

1. NUMBERS SHOWN HEREIN REPRESENT MAXIMUM BUILDOUT NUMBERS. ACTUAL CONSTRUCTION MAY VARY UP TO THESE MAXIMUM VALUES.

PARAISO SPRINGS RESORT PROJECT STATISTICS 1:				
FACILITY TYPE & DESCRIPTION	NUMBER OF UNITS	BUILDING FLOOR AREA (SF)	PERMITTED FLOOR AREA (SF)	TOTAL FOOTPRINT (SF)
RESTAURANTS	103	84,870	55,926	48,000
MEETING & CONFERENCE	9	7,570	7,570	53,000
ADMINISTRATION	3	3,210	3,210	0
SUPPORT & BACK OF HOUSE	22	27,993	27,993	0
LOBBY, SUPPORT, MISC.	142	146,878	115,575	1,300
DAY SPA	1	2,500	2,500	198,200
GENERAL RETAIL STORES	3	3,500	3,100	86 Parking
ARTIST STUDIO & STORES	7	6,300	6,300	3,700 ft. supporting
REAL ESTATE OFFICE	1	450	450	1,700 ft. supporting
WINE & GARDEN CENTERS	2	6,200	6,200	2,800 ft. of Spa
ENTRANCE TEAHOUSE	14	18,950	18,550	62,000
HAMAMMS & KNEIPP	2	800	800	Service Road
AQUA COURSE & MASSAGE	3	7,240	7,240	
VILAS & PAULINAS	2	13,310	13,310	
RETAIL & CREATIVE CENTER	2	8,440	8,440	
GOLF SCHOOL	1	2,000	2,000	
BASKETBALL & RACQUETBALL	2	9,400	9,400	
SUB-TOTALS	14	510,990	519,990	33,600
3 BEDROOM CONDOMINIUMS	34	64,600	32,300	114 Parking
2 BEDROOM CONDOMINIUMS	26	67,340	33,670	1,300 ft. supporting
TIME SHARE VILAS	17	71,400	51,000	65,000
SUPPORT FACILITIES	1	7,270	7,270	Home Lots
SUB-TOTALS	78	210,610	124,240	65,600
INDUSTRIE	1	4,000	4,000	32 Parking
VISITOR CENTER	1	750	750	2,000
RET SPA	1	400	400	1,000
SUB-TOTALS	3	5,150	5,150	4,000
TOTALS	248	432,678	314,605	260,980
FOOTPRINT IN ACRES	NA	NA	7.22	5.99
				9.98
				231.9



NOTES

- PROJECT OWNER: THOMPSON HOLDINGS L.L.C.
 P.O. BOX 1925
 HORSHAM, PA 19044
 APN 418-381-021
 APN 418-381-024
 APN 418-381-022
- CIVIL ENGINEER: CH2M HILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CA 95112-4524
 (408) 436-4836
 DAVID VON RUEDEN, RCE# 26428
- ASSESSORS PARCEL NUMBERS: 418-361-004, 418-381-022 AND 418-381-021
- EXISTING ZONING: COMMERCIAL-VISITOR SERVING
 PROPOSED ZONING: COMMERCIAL-VISITOR SERVING
 PROPOSED NUMBER OF LOTS: 23
 TOTAL ACREAGE: 235.93
- PROPOSED HEIGHT OF ALL STRUCTURES: 2-STORY MAX.
- PROPOSED TYPE DEVELOPMENT OF LOTS OR UNITS: RESORT HOTEL, 60 TIME SHARE CONDOMINIUMS & 17 TIME SHARE WILDA LOTS.
- PROPOSED SOURCE OF WATER: ON-SITE GROUND WATER WELLS
 SEWAGE DISPOSAL: PRIVATE
 SEWER TREATMENT: ON-SITE PRIVATE WASTE WATER TREATMENT SYSTEM
- EROSION CONTROL BY BEST MANAGEMENT PRACTICES AND LANDSCAPING
- ALL ROADS SHALL BE PRIVATE. ACCESS TO RESIDENTIAL AREAS SHALL BE LIMITED TO PROPERTY OWNERS AND THEIR GUESTS. ACCESS TO HOTEL & HAMELET SHALL BE OPEN TO THE PUBLIC.
- THE STORM DRAINAGE SYSTEM SHALL INCLUDE GREASE INTERCEPTORS FROM AREAS WHICH GENERATE OILS AND GREASE (PLUMBING AREAS). ON-SITE INFILTRATION PROPOSED FOR DEVELOPMENT RUNOFF.
- PROPOSED RIGHTS OF WAY TO BE PROVIDED TO THEIR RESPECTIVE ENTITY. ALL LOTS SHALL CONTAIN PUBLIC SERVICE EASEMENTS (PSE) EXCEPT FOR THOSE AREAS OCCUPIED BY BUILDINGS OR STRUCTURES. FOR THE CONSTRUCTION MAINTENANCE AND DISTRIBUTION OF THE FOLLOWING UTILITIES AND THEIR APPURTENANT FACILITIES:
 A. SANITARY SEWERS;
 B. WATER MAINS;
 C. ELECTRICITY AND GAS;
 D. TELEPHONE;
 E. FIRE PROTECTION;
 F. CABLE T.V. CORPORATE & COMMERCIAL COMMUNICATION
- RECYCLED WASTE WATER SHALL BE USED FOR LANDSCAPE IRRIGATION
- WATER MAINS SHALL BE LOCATED IN PROPOSED STREETS, UNLESS OTHERWISE SHOWN.
- PROPOSED WELL WATER SUPPLY PIPING SHALL BE PLACED SIDE BY SIDE WITH DISTRIBUTION AND POTIBLE WATER RESERVOIR.
- ALL EXISTING BUILDINGS & STRUCTURES TO BE REMOVED.
- THE PROJECT SITE IS INCLUDED IN ZONE "C" AREAS OF MINIMAL FLOODING AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR MONTEREY COUNTY, CA (UNINCORPORATED AREAS), PANEL NUMBER 060195 0350 D, DATED JANUARY 30, 1984.



LEGEND

TO BE CONST.	EXIST.	DESCRIPTION
EXTERNAL SUBDIVISION BOUNDARY	▲	FIRE HYDRANT
LOT LINES	■	MONUMENT (FOUND)
CENTER LINE	□	EXISTING DRAINAGE SWALE
ADJACENT PROPERTY LINE	—	EXISTING CONTOURS
WATER MAIN	○	TREES
STORM SEWER	○	EXISTING STRUCTURES TO BE REMOVED
SANITARY SEWER	○	FINISHED FLOOR
SANITARY SEWER MANHOLE	○	FINISHED GROUND
STORM SEWER MANHOLE	○	INVERT ELEVATION
STORM SEWER CLEAN OUT	○	
DRAIN INLET	○	
STORM DRAIN OUTFALL	○	

VESTING TENTATIVE MAP

PROJECT	366335
DATE	07/15/05
SCALE	AS NOTED
SHEET	CT-1
OF 6 SHEETS	

REVISION BLOCK	
REV. 1	02/02/09
REV. 2	11/17/08
REV. 3	09/18/12
REV. 4	06/18/12
REV. 5	06/18/12
REV. 6	06/18/12
REV. 7	06/18/12
REV. 8	06/18/12
REV. 9	06/18/12
REV. 10	06/18/12
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REV. 100	06/18/12

Paraiso Springs Resort
 Soledad, California

THOMPSON HOLDINGS, LLC
 495 Eoston Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95112-4524
 (408) 436-4836

HILL GLAZIER
 ARCHITECTS
 1000 CALIFORNIA STREET, SUITE 200
 SAN JOSE, CALIFORNIA 95128-2000
 (408) 938-8888

MATCHLINE - SEE CT-4



MATCHLINE - SEE CT-3

LEGEND

TO BE CONST.	EXIST.	DESCRIPTION
		SANITARY SEWER
		STORM SEWER
		WATER MAIN
		SANITARY SEWER MANHOLE
		STORM SEWER MANHOLE
		SANITARY SEWER CLEAN OUT
		DRAIN INLET
		FIRE HYDRANT
		STORM DRAIN OUTFALL

PROJECT	366335
DATE	07/15/05
SCALE	AS NOTED
CT-2	
SHEET OF 6 SHEETS	

Paraiso Springs Resort

Soledad, California

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95128-4524
 (408) 666-8888

OWNER
 Thompson Holdings, LLC
 495 Easton Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600

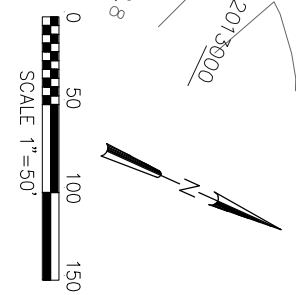
HG
 HILL GLAZIER
 ARCHITECTS
 1000 CALIFORNIA AVENUE, SUITE 200
 SAN JOSE, CALIFORNIA 95128-4524
 (408) 666-8888

REVISION BLOCK

REV. 1	02/05/09
REV. 2	11/17/08
REV. 3	05/18/07
REV. 4	05/18/07
REV. 5	05/18/07
REV. 6	05/18/07



LEGEND	
TO BE CONSI.	EXIST.
	WATER MAIN
	STORM SEWER
	SANITARY SEWER
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	SANITARY SEWER CLEAN OUT
	DRAIN INLET
	FIRE HYDRANT
	STORM DRAIN OUTFALL



PROJECT	366335
DATE	07/15/05
SCALE	AS NOTED
SHEET CT-3	
OF 6 SHEETS	

Paraiso Springs Resort

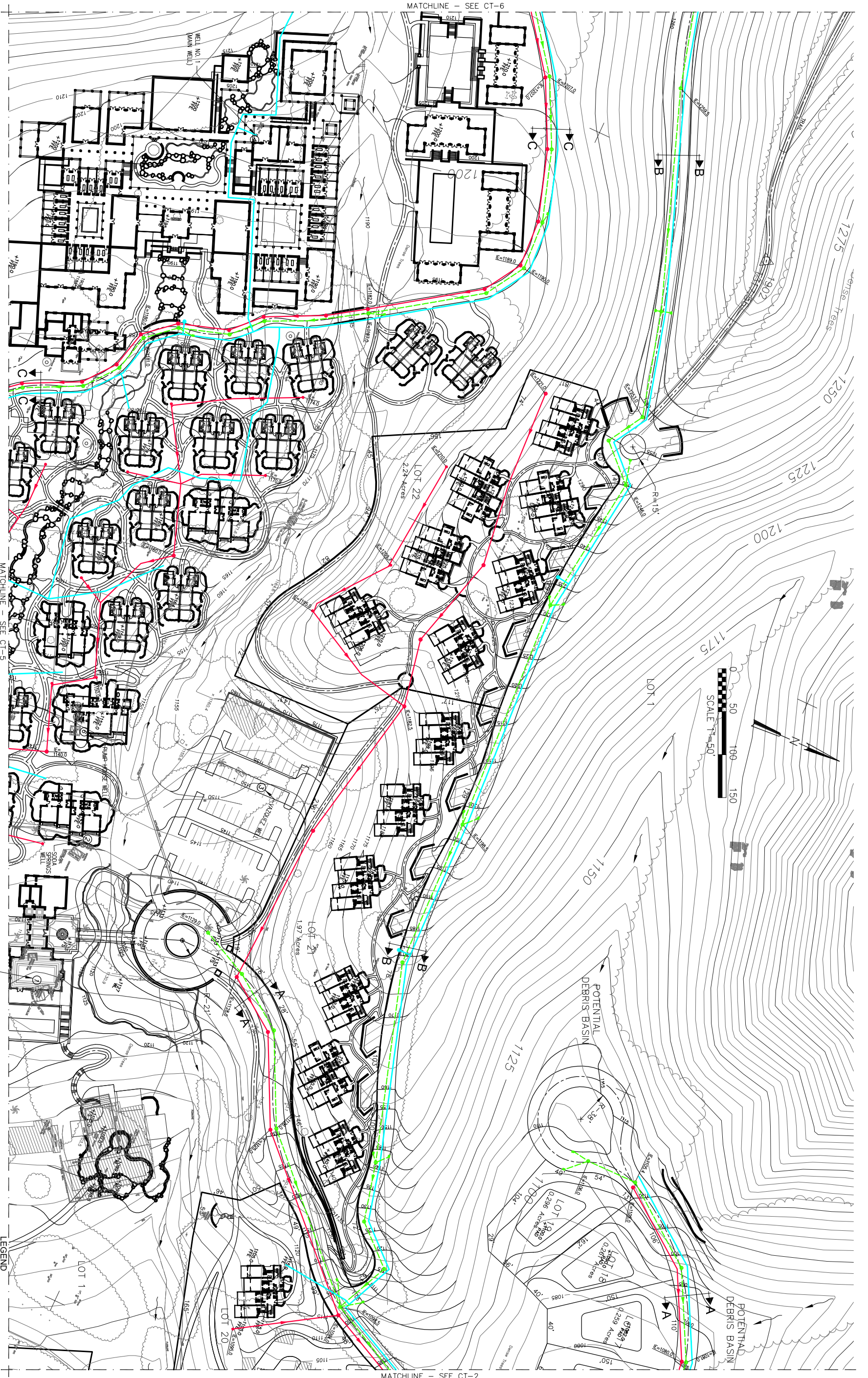
Soledad, California

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 900
 SAN JOSE, CALIFORNIA 95128-4254
 (408) 666-8888

OWNER
 Thompson Holdings, LLC
 495 Eoston Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600

REVISION BLOCK	
REV. 1	02/05/09
REV. 2	11/17/08
REV. 3	09/18/12

SHEET TITLE	VESTING TENTATIVE MAP
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TO BE CONSTRUCTED	EXISTING	DESCRIPTION
		WATER MAIN
		STORM SEWER
		SANITARY SEWER
		SANITARY SEWER MANHOLE
		STORM SEWER MANHOLE
		SANITARY SEWER CLEAN OUT
		DRAIN INLET
		FIRE HYDRANT
		STORM DRAIN OUTFALL

PROJECT	366335
DATE	07/15/05
SCALE	AS NOTED
CT-4	
SHEET OF 6 SHEETS	

Paradise Springs Resort

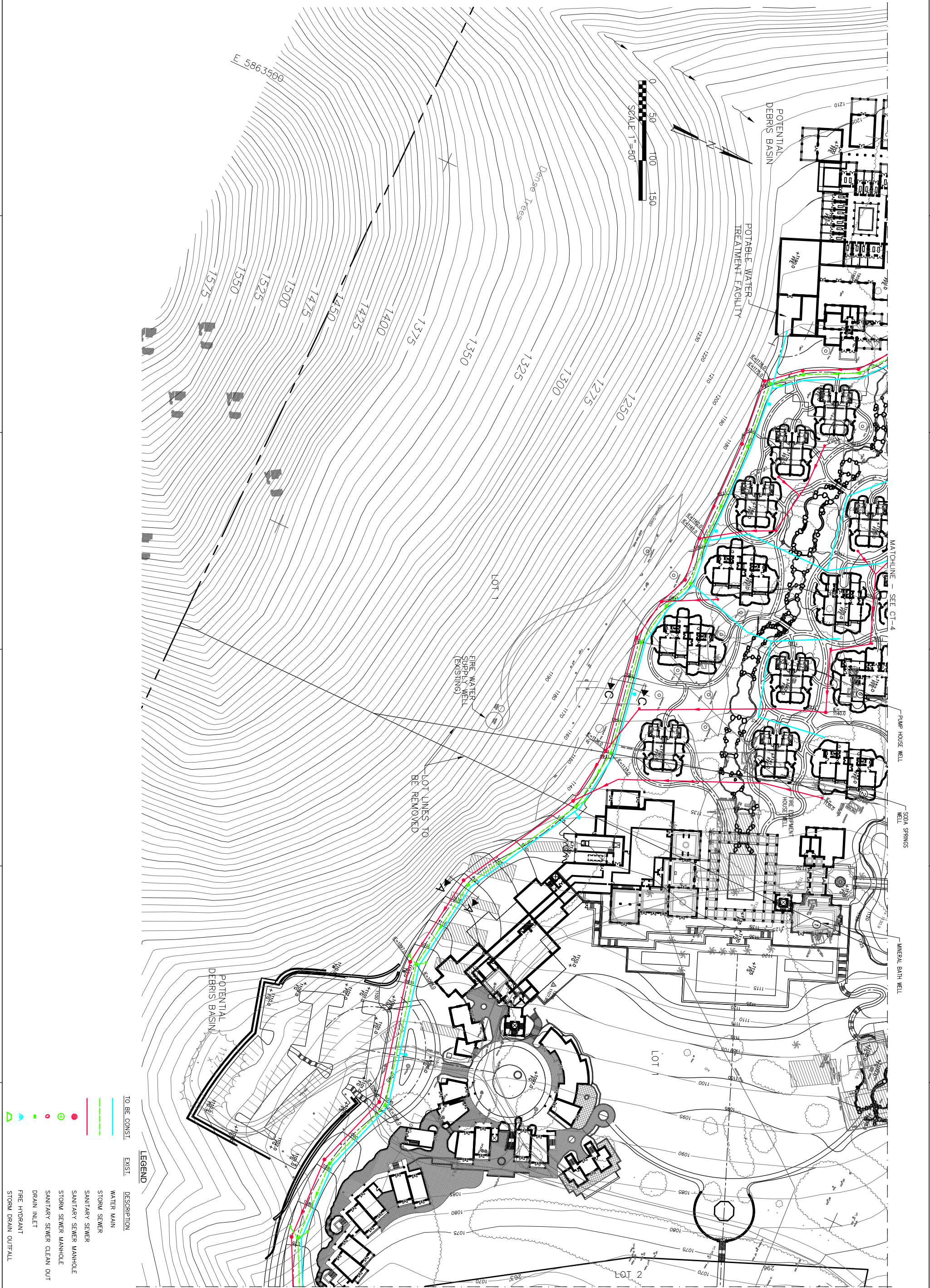
Soledad, California

REVISION BLOCK
REV. 1 02/05/09
REV. 2 11/17/08
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REV. 4 05/18/12
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REV. 50 05/18/12

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95128-2529
 (408) 666-8888

HG
 HILL GLAZIER
 ARCHITECTS
 1000 CALIFORNIA STREET, SUITE 100
 SAN JOSE, CALIFORNIA 95128-2529
 (408) 666-8888

OWNER
 Thompson Holdings, LLC
 495 Easton Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600



TO BE CONST.	EXIST.	DESCRIPTION
		WATER MAIN
		STORM SEWER
		SANITARY SEWER
		SANITARY SEWER MANHOLE
		STORM SEWER MANHOLE
		SANITARY SEWER CLEAN OUT
		DRAIN INLET
		FIRE HYDRANT
		STORM DRAIN OUTFALL

REVISION BLOCK	
REV. 1	02/05/09
REV. 2	11/17/09
REVISED PROJECT PHASING	
SHEET TITLE	VESTING TENTATIVE MAP
PROJECT	366335
DATE	07/15/05
SCALE	AS NOTED
SHEET	CT-5
OF	6 SHEETS

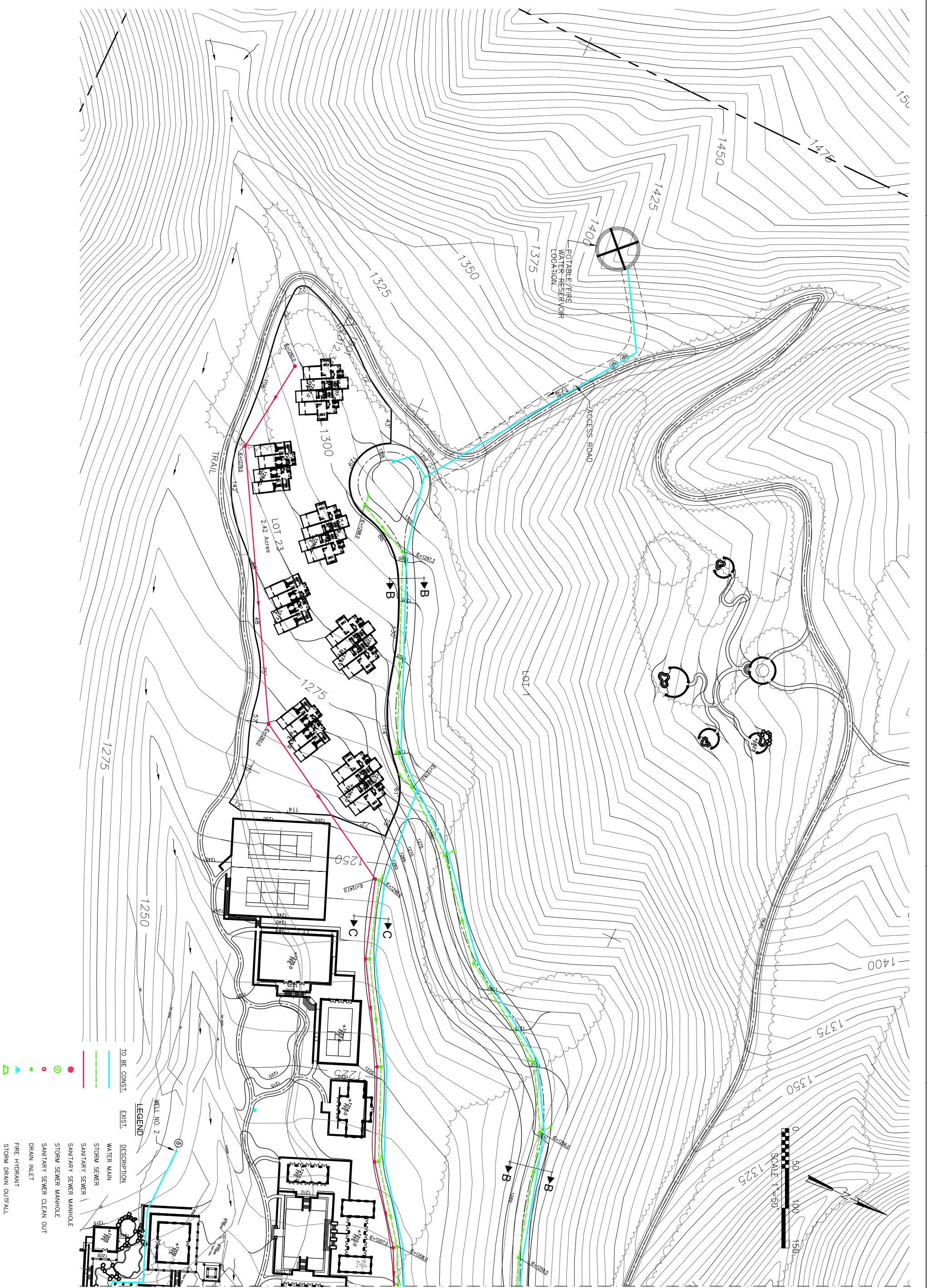
Paraiso Springs Resort

Soledad, California

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95124-2524
 (408) 666-8888

OWNER
 Thompson Holdings, LLC
 495 Eason Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600

HG
 HILL GLAZIER
 ARCHITECTS
 1000 CALIFORNIA AVENUE, SUITE 100
 SAN JOSE, CALIFORNIA 95128
 (408) 435-1100



TO BE CONST.	EXIST.	DESCRIPTION
		WATER MAIN
		STORM SEWER
		SANITARY SEWER
		SANITARY SEWER MANHOLE
		STORM SEWER MANHOLE
		SANITARY SEWER CLEAN OUT
		DRAIN INLET
		FIRE HYDRANT
		STORM DRAIN OUTFALL

REVISION BLOCK	
REV. 1	02/02/09
REV. 2	11/11/08
REV. 3	03/18/12
REV. 4	03/18/12
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REV. 99	03/18/12
REV. 100	03/18/12

Paradise Springs Resort

Soledad, California

HG
 HILL GLAZIER
 ARCHITECTS
 1000 MARKET STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95128-2528
 (408) 956-8888

CH2MHILL
 1737 NORTH FIRST STREET, SUITE 300
 SAN JOSE, CALIFORNIA 95128-2528
 (408) 956-8888

OWNER
 Thompson Holdings, LLC
 495 Easton Road, 2nd Floor,
 Horsham, PA 19044
 Tel: (215) 441-8600

PROJECT 366335
DATE 07/15/05
SCALE AS NOTED

SHEET CT-6
OF 6 SHEETS